



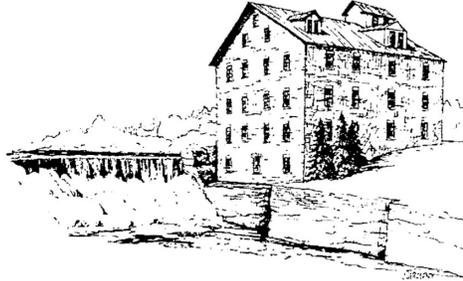
TOWN OF MENDON

Monroe County, New York

COMPREHENSIVE PLAN

Adopted: February 8, 2021

Town of Mendon



COMPREHENSIVE PLAN

ADOPTED: FEBRUARY 8, 2021

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This document was developed by the Town of Mendon Comprehensive Plan Advisory Committee with the assistance of LaBella Associates.

CONTENTS

INTRODUCTION 1

BACKGROUND 2

 ORGANIZATION OF THE PLAN 4

SECTION I: COMMUNITY PROFILE AND ASSESSMENT 7

 PAST PLANNING EFFORTS 7

 DEMOGRAPHICS AND ECONOMICS 10

 LAND USE 19

 ENVIRONMENTAL PROTECTION OVERLAY DISTRICTS 21

 TRANSPORTATION 23

SECTION II: COMPREHENSIVE PLAN VISION AND GUIDING PRINCIPLES31

 COMMUNITY ENGAGEMENT 31

 VISION STATEMENT 34

 GUIDING PRINCIPLES 35

SECTION III: COMPREHENSIVE PLAN STRATEGIES43

 FUTURE LAND USE 44

 GROWTH MANAGEMENT 53

 TRANSPORTATION AND INFRASTRUCTURE 55

 ECONOMIC DEVELOPMENT 57

 NATURAL, HISTORIC AND RECREATIONAL RESOURCES 59

 HOUSING AND NEIGHBORHOODS 61

 GOVERNMENT AND COMMUNITY SERVICES 62

 ALIGNMENT OF STRATEGIES WITH GUIDING PRINCIPLES 63

SECTION IV: IMPLEMENTATION73

SECTION V: PRIORITY INITIATIVES91

 1. PROMOTE COMPATIBLE RENEWABLE ENERGY 91

 2. MAINTAIN MENDON’S RURAL CHARACTER 93

 3. REVITALIZE THE HAMLET OF MENDON 95

 4. PROMOTE HOUSING DIVERSITY 98

 5. DEVELOP WASTEWATER SOLUTIONS FOR THE HAMLET OF MENDON 99

APPENDIX A – SWOT Analysis

APPENDIX B – Public Participation Results

APPENDIX C – Sample Design Guidelines

APPENDIX D – Additional Mapping

INTRODUCTION

A Comprehensive Plan is a community's vision for its future. This 2021 update to the Town of Mendon's Comprehensive Plan provides a framework for future decision making by Town boards and the legal basis for updates to the Zoning Code. It also offers strategies and actions to implement the community's vision.

While the Comprehensive Plan is intended to provide a vision for the next decade it is not static. It should be reviewed periodically for potential amendments if conditions change in the Town and particularly if zoning updates are needed. Periodic reviews of the plan will also generate a "report card" on how well the Town is implementing Comprehensive Plan policies and actions.

The Town of Mendon last updated its Comprehensive Plan in 2005. Since 2005 conditions have evolved within the Town and the world at large. In the last 15 years technology has changed the way we live. Demographic changes have also emerged. At the same time, the community's preference for Mendon's rural character has been steadfast. All of these dynamics need to be reviewed, recognized, and reconciled through the Comprehensive Planning process.

As noted in Section 272-a of New York State Town Law, a Town Comprehensive Plan "means the materials, written and/or graphic, including but not limited to maps, charts, studies, resolutions, reports and other descriptive material that identify the goals, objectives, principles, guidelines, policies, standards, devices and instruments for the immediate and long-range protection, enhancement, growth and development of the town located outside the limits of any incorporated village or city."

The following is the accumulation of the Town of Mendon's most recent comprehensive planning efforts (including references to past plans). This plan is prepared within the framework of Section 272-a of New York State Town Law.



BACKGROUND

The Town of Mendon is a small, rural community located in the nine-county Finger Lakes region¹ depicted in the adjoining map.

Located in Monroe County, the Town of Mendon borders Ontario and Livingston Counties, and is a short drive south from the City of Rochester. Although there is no direct access onto an Interstate highway in Mendon, the closest access would be via the local,



county, and State road network to access I-390 or I-490. The New York State Thruway (I-90) passes through the northeast corner of the Town. Several State Routes pass through the Town including NYS Routes 64, 65, 251 and 15A.

The Village of Honeoye Falls, located in the southwest portion of the Town, has the highest density in the Town and has a quaint, attractive downtown. The Hamlet of Mendon, on the east side of the Town near the border of the Town of Victor and Ontario County, also serves as a small commercial and residential area for the Town. Both the Hamlet of Mendon and Village of Honeoye Falls have traditionally served as the historic centers of population and commerce.

Just east of the Hamlet and the Town of Mendon boundary is a regional commercial center including Eastview Mall within the Town of Victor (Ontario County). Mendon is bordered on the north by the Town of Pittsford, on the west by the Towns of Rush and Henrietta, on the south by the Towns of Lima (Livingston County) and West Bloomfield (Ontario County).

¹ The Genesee/Finger Lakes region is a nine-county planning region focused upon by the local Metropolitan Planning Organization known as the Genesee Transportation Council and served by the Genesee/Finger Lakes Regional Planning Council. The region includes the City of Rochester, the surrounding County of Monroe, and eight additional neighboring counties: Genesee, Livingston, Ontario, Orleans, Seneca, Wayne, Wyoming and Yates. The 2010 Census reported a population of approximately 1.2 million for the nine-county region.



COME AGAIN.

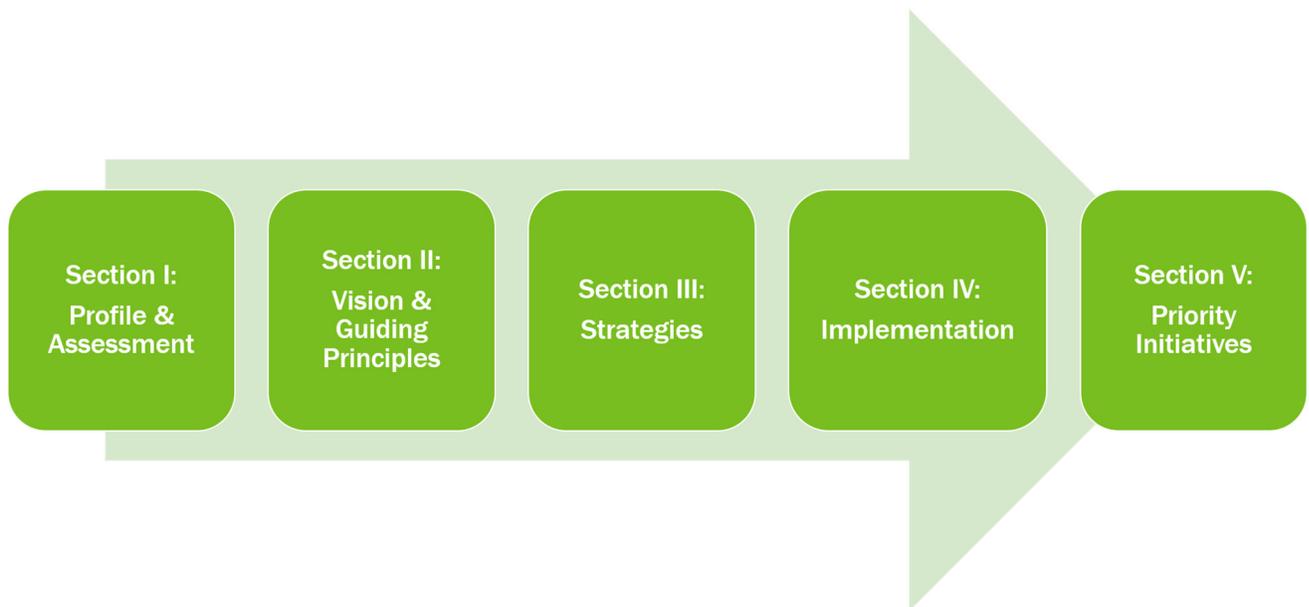


HAMLET of
MENDON
CIRCA 1832

ORGANIZATION OF THE PLAN

This Plan presents the Vision, Guiding Principles (Goals) and Strategies recommended by the community for the Town of Mendon's future. The plan is organized into the five sections:

- **Section I** provides a summary of the Town's population demographics, economy, existing plans, and development patterns;
- **Section II** contains the Comprehensive Plan Vision Statement and the Guiding Principles (Goals);
- **Section III** suggests ways to implement the eight Goals described in Section II through strategies;
- **Section IV** proposes an action plan for use by Town officials as they move forward to implement the Plan; and
- **Section V** outlines specific Priority Projects or Policies including details on steps to implement them.





COMPREHENSIVE PLAN TOWN OF MENDON

Section I: Community Profile and Assessment

SECTION I: COMMUNITY PROFILE AND ASSESSMENT

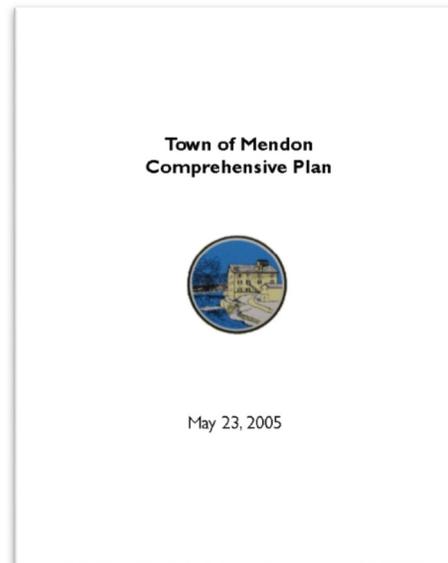
PAST PLANNING EFFORTS

Past reports prepared for the Town of Mendon and neighboring areas include recommendations that are considered in the context of this Plan. A brief summary and key relevant recommendations of each follows.

Town of Mendon Comprehensive Plan (2005)

The Town's 2005 Comprehensive Plan includes recommendations regarding growth management, natural resources, agriculture, housing, neighborhoods, economic development, transportation, utilities, open space, recreation, historic resources and government/community services.

The intent of this 2021 plan is to provide an update to the 2005 plan. Consequently, many of the key principles and strategies that are still valid in the plan will be migrated to the 2021 update of the plan.



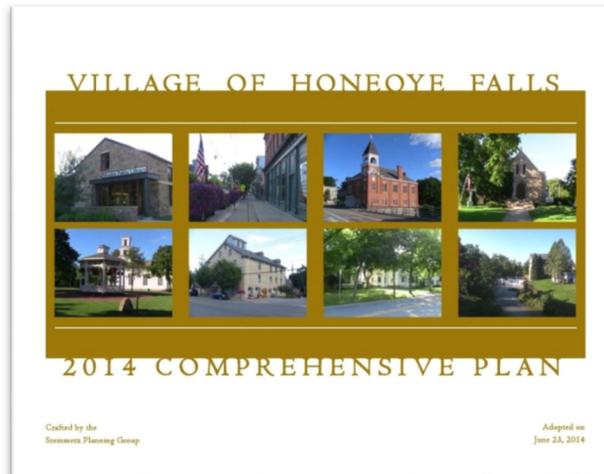
Key Relevant Recommendations

- **Preserve green space, open space, and agriculture**
- **Retain the Town's rural character and land conservation policies**
- **Provide sidewalks and other amenities to make the Hamlet of Mendon pedestrian friendly**
- **Consider sanitary sewer solutions for the Hamlet center**
- **Provide shared parking solutions for the Hamlet**
- **Accommodate multi-family housing in the Hamlet**

COMPREHENSIVE PLAN TOWN OF MENDON

Village of Honeoye Falls Comprehensive Plan (2014)

Although prepared for a separate local government jurisdiction, the 2014 Comprehensive Plan for the Village of Honeoye Falls includes policies and objectives regarding neighborhood preservation and development, local commerce, downtown, leisure and culture, health and safety, natural resources and sustainability, as well as government partnerships.



Key Relevant Recommendations

- Increase a variety of living options available to senior citizens
- Ensure new residential development fosters interconnected street patterns
- Ensure adequate infrastructure to accommodate new and existing commercial and industrial uses
- Support efforts to increase amount of locally produced food available to residents
- Focus stewardship efforts on the health of Honeoye Creek
- Strengthen relationships with surrounding municipalities to pursue common goals

Other relevant past local planning efforts included the following:

Mendon Hamlet Master Plan (1996)

The main goals of the Hamlet Master Plan are to preserve the existing residential qualities of the Hamlet area and to enhance the economic viability of its business district. The Master Plan defined the Hamlet boundaries and established an overall development theme as a guide for all subdivision, site plan and zoning approvals occurring within the area.

The Mendon Hamlet Master Plan provides an overall streetscape plan supported by street lighting and sidewalk districts. It notes that the sidewalk improvement program needs to be closely coordinated with Monroe County to ensure that future development of the Lehigh Valley Trail will complement the Hamlet's pedestrian circulation plans.

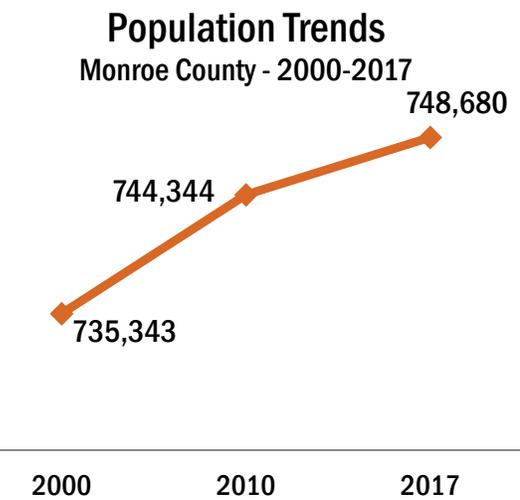
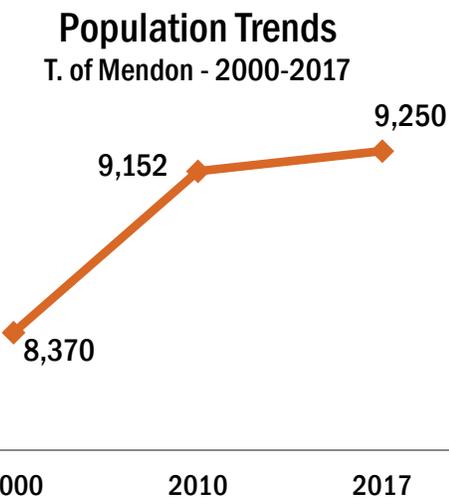
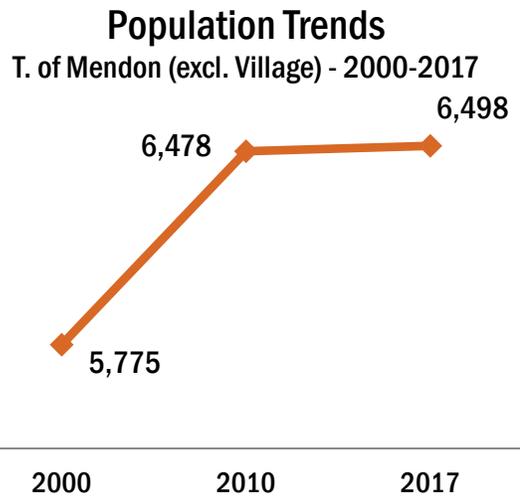
Open Space, Parks & Recreation Master Plan (2001)

The Town of Mendon Open Space, Parks & Recreation Master Plan was adopted in 2001. This document includes an inventory of natural resources, farmland, other open space and scenic resources and presents goals, objectives and recommends actions for protecting these resources. The document also includes recommendations for the acquisition and development of parks and recreational facilities. The Master Plan provided the basis for the Town's current EPOD regulations (Environmental Protection Overlay District regulations).

DEMOGRAPHICS AND ECONOMICS

Population

The Town of Mendon is currently home to 9,250 residents with an estimated 2,752 people living within the Village of Honeoye Falls and 6,498 people living outside of the Village. Population within the Town (excluding the Village) increased 12.2 percent between 2000 and 2010, but remained fairly stagnant between 2010 and 2017. The population in the Village steadily increased by six percent between 2000 and 2017. These population growth rates are greater than Monroe County's rate of growth which grew by less than two percent between 2000 and 2017.



Source: US Census Bureau 2000 and 2010 SF1 Decennial Census, American Community Survey 2013-2017 Estimates

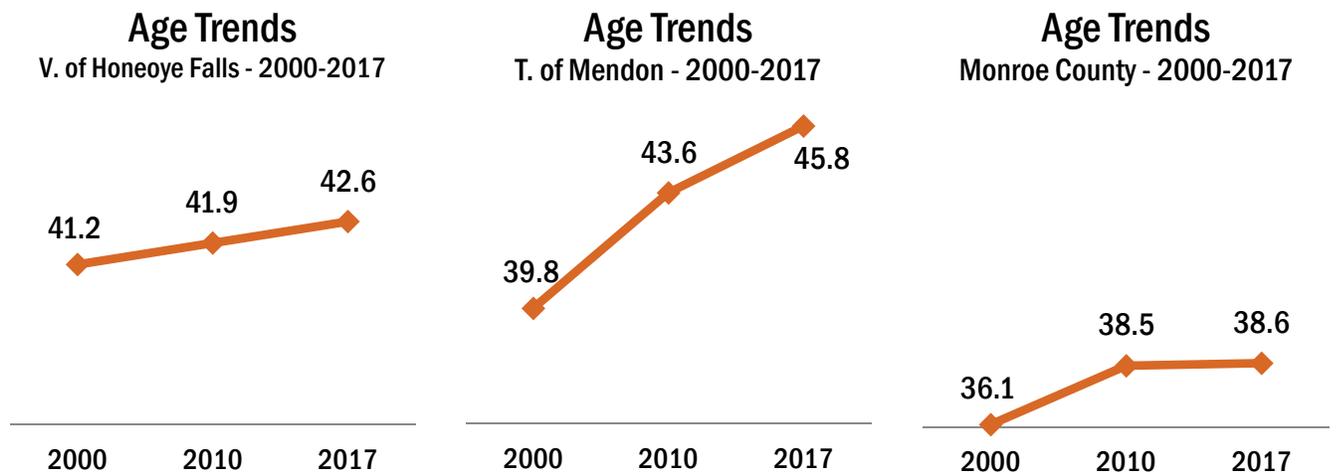
Population Trends and Projections
1990 to 2040
Selected Communities

	Census			Projection		
	1990	2000	2010	2020	2030	2040
Mendon, T. ex V.	4,505	5,775	6,478	6,521	6,614	6,680
Honeoye Falls, V.	2,340	2,595	2,674	2,664	2,678	2,684
Pittsford, T. ex. V.	23,009	25,801	28,050	28,413	28,964	29,382
Rush, T.	3,217	3,603	3,478	3,551	3,644	3,718
Henrietta, T.	36,376	39,028	42,581	45,134	44,486	44,625
Lima, T. ex V.	2,022	2,082	2,166	2,178	2,215	2,247
Victor, T. ex V.	4,883	7,390	11,579	12,982	14,173	15,207

Source: U.S. Census; Genesee-Finger Lakes Regional Planning Council

Age

Residents in the Town of Mendon are aging. The median age of the Town’s population has increased from 39.8 years old in 2000 to 45.8 years old in 2017. By contrast, the median age of residents in the Village of Honeoye Falls, and Monroe County have been more stable in the same time period with only minor increases. Based on the median age statistics in 2017, Village residents tend to be younger (42.6 median years of age) than Town residents (45.8 median years of age).

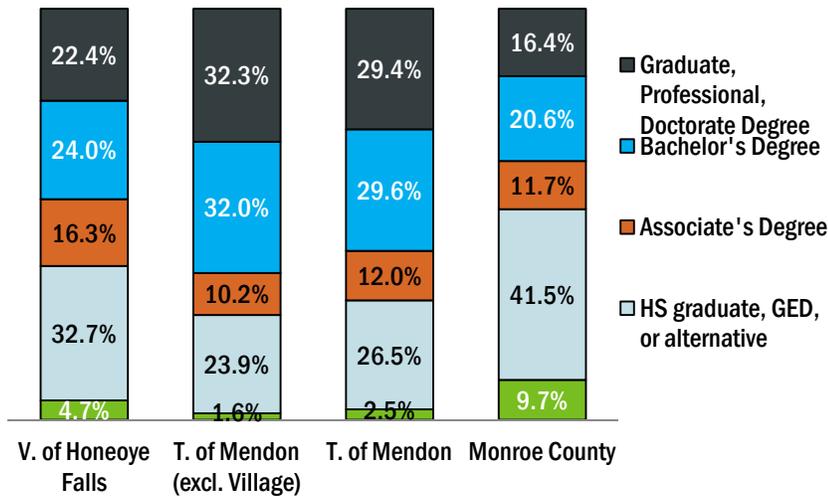


Source: US Census Bureau 2000 and 2010 SF1 Decennial Census, American Community Survey 2013-2017 Estimates

Educational Attainment

The level of education obtained by Town of Mendon (excluding the Village) residents is higher than Village of Honeoye Falls residents. Nearly 75 percent of the Town of Mendon's (excluding the Village) population (≥ 25 years old) has obtained an associate's degree or higher, while 63 percent of Village residents and 49 percent of Monroe County residents have received the same level of education.

Educational Attainment
Population ≥ 25 Years Old - 2017

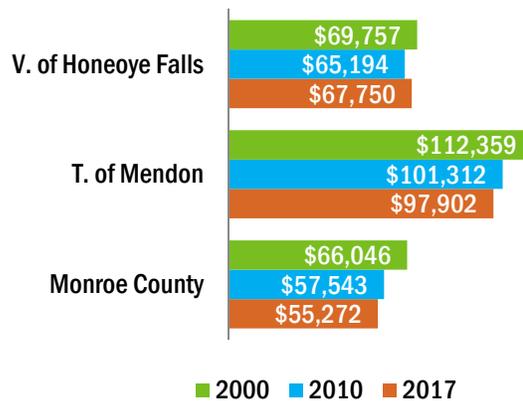


Source: American Community Survey 2013-2017 Estimates

Household Income

The median household income (MHI) for the Town of Mendon (including the Village) has historically been and recently much higher than that of the Village of Honeoye Falls and Monroe County. However, taking into account inflation, the MHI actually decreased by 12.9 percent in the Town between 2000 and 2017, closing the MHI gap between the Village and Town. The MHI decreased by 2.9 percent in the Village and 16.3 percent in the County in the same time period.

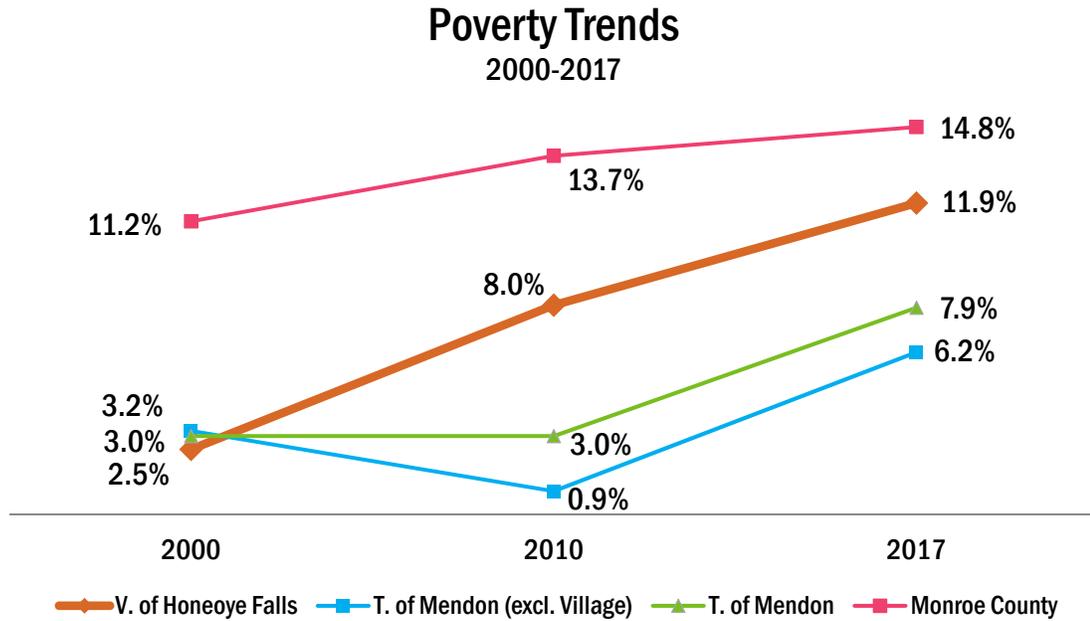
Household Income
Adjusted for Inflation to 2017 \$'s



Source: US Census Bureau 2000 Decennial Census, American Community Survey 2006-2010 & 2013-2017 Estimates; BLS' US Inflation Calculator <<http://data.bls.gov/cgi-bin/cpicalc.pl>>.

Poverty

The poverty rate in the Town of Mendon (excluding the Village) at 7.9 percent was lower than the Village of Honeoye Falls (11.9 percent) in 2017 and much lower than Monroe County (14.8 percent). However, poverty rates more than doubled in both the Town and Village of Honeoye Falls between 2000 and 2017, likely as a result of an aging population with limited incomes.

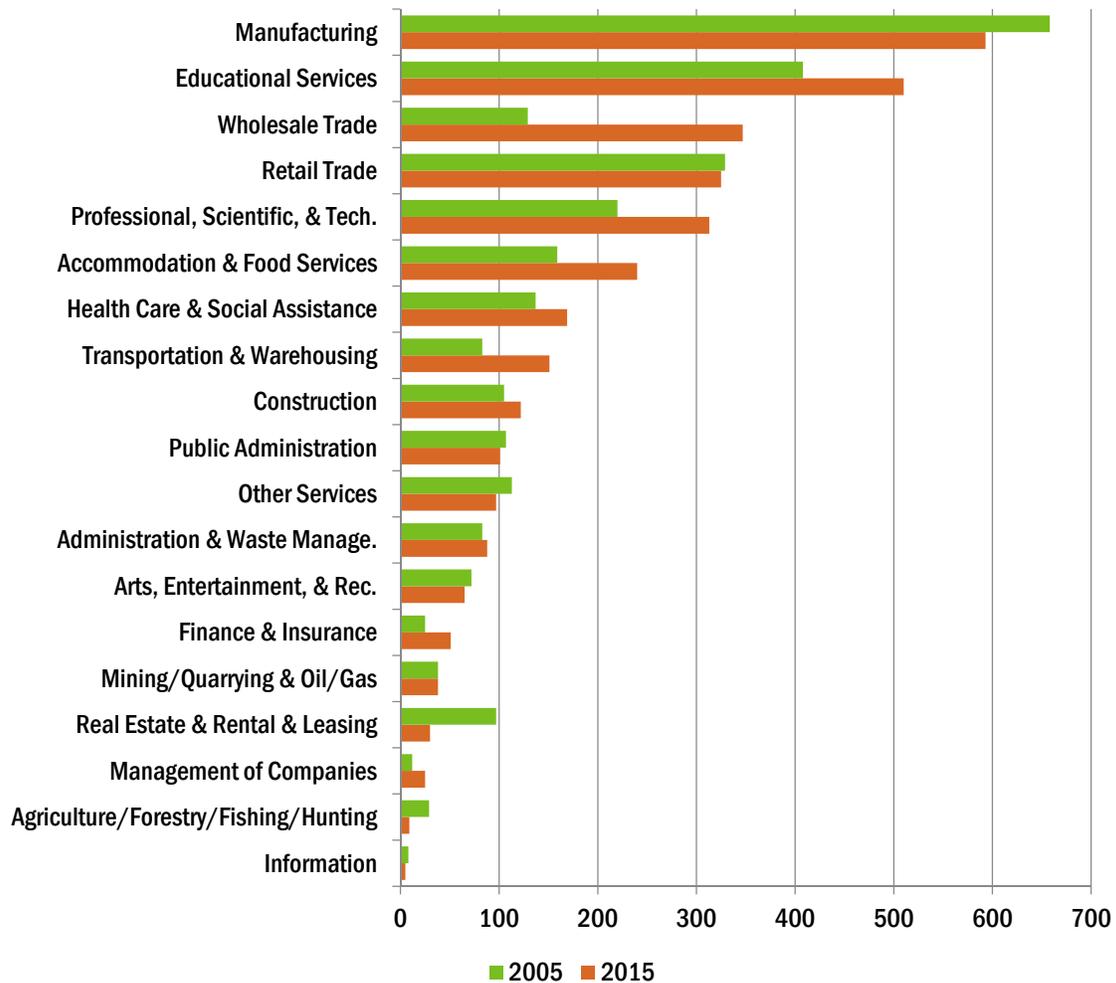


Source: US Census Bureau 2000 Decennial Census, American Community Survey 2006-2010 & 2013-2017 Estimates

Employment

There were approximately 3,279 jobs located within the Town of Mendon (including the Village) in 2015, an increase of 467 since 2005. The five largest industries in the Town in 2015 with the greatest share of employment include manufacturing (18 percent), educational services (16 percent), wholesale trade (11 percent), retail trade (10 percent), and professional, scientific, and technical services (10 percent). Educational services, wholesale trade, professional, scientific, and technical services, and accommodation and food Services all experienced a significant growth in jobs between 2005 and 2015 while the manufacturing and real estate sectors have experienced job losses during the same time period.

Industry At Place Employment Trends T. of Mendon - 2005-2015

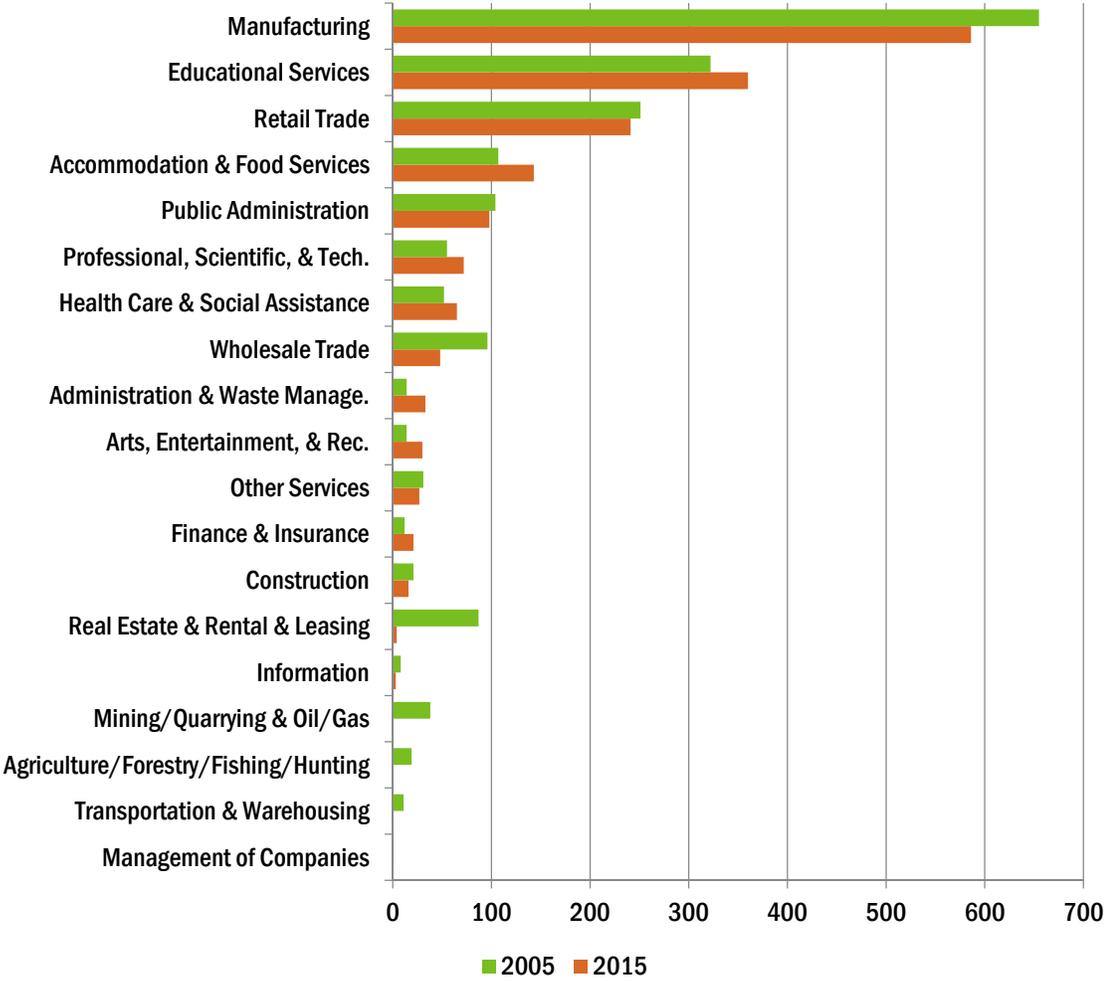


Source: US Census Bureau OnTheMap 2005 & 2015

There were approximately 1,747 jobs located within the Village of Honeoye Falls in 2015, a decrease of 151 jobs between since 2015. The five highest employment sectors in 2015 were manufacturing (33 percent), educational services (21 percent), retail trade (14 percent), accommodation and food services (8 percent), and public administration (6 percent). Educational services, accommodation and food services, and professional, scientific, and technical services have all experienced significant growth in jobs within the Village between 2005 and 2015 while manufacturing, wholesale trade, and real estate have experienced significant losses.

Industry At Place Employment Trends

V. of Honeoye Falls - 2005-2015



Source: US Census Bureau OnTheMap 2005 & 2015

COMPREHENSIVE PLAN TOWN OF MENDON

In 2015, 669 people lived and worked within the Town of Mendon (including the Village), 2,610 people lived outside of but worked within the Town, and 3,957 people lived within but worked outside of the Town.

In the same year 211 people lived and worked within the Village of Honeoye Falls, 1,536 people lived outside of but worked within the Village, and 1,182 people lived within but worked outside of the Village.

Commuting Patterns
T. of Mendon - 2015



Commuting Patterns
V. of Honeoye Falls - 2015



Source: US Census Bureau OnTheMap 2015

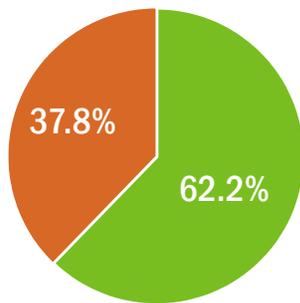
Housing Units, Occupancy, and Tenure

The total number of housing units within the Town of Mendon (excluding the Village) grew steadily from 1,982 units in 2000 to 2,339 units in 2010. The total number of housing units continued to grow, albeit at a slower rate, to 2,433 units between 2010 and 2017. Housing vacancy rates within the Town of Mendon (excluding the Village) increased from 1.3 percent in 2000 to 5.3 percent in 2017. The majority of occupied units in the Town of Mendon (excluding the Village) are owner-occupied; however, there has been an increase between 2000 and 2017 in the share of renter-occupied units.

The total number of housing units within the Village of Honeoye Falls grew at a slower rate between 2000 and 2014 compared to the Town. The number of housing units grew from 1,156 units in 2000 to 1,274 units in 2010.

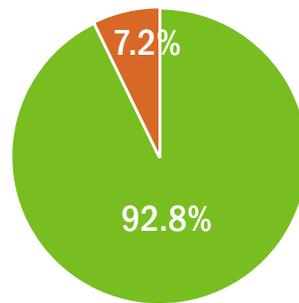
Between 2010 and 2017 only one housing unit was added in the Village. Housing vacancy rates within the Village of Honeoye Falls increased from 3.6 percent in 2000 to 7.1 percent in 2017. The majority of occupied units in the Village of Honeoye Falls in 2017 were owner-occupied; however, there was a nominal increase between 2000 and 2017 in the share of renter-occupied units.in the Village.

Housing Tenure
V. of Honeoye Falls - 2017



■ Owner-Occupied ■ Renter-Occupied

Housing Tenure
T. of Mendon (excl. Village) - 2017



■ Owner-Occupied ■ Renter-Occupied

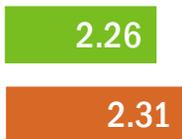
Source: US Census Bureau 2000 and 2010 SF1 Decennial Census, American Community Survey 2013-2017 Estimates

COMPREHENSIVE PLAN TOWN OF MENDON

Household Size

The average household size in the Town of Mendon (including the Village) and Monroe County decreased between 2000 and 2017 while the average household size in the Village of Honeoye Falls increased over the same time period. The average Town of Mendon household in 2017 (2.7 persons/household) was larger than household sizes in Monroe County (2.47) and the Village of Honeoye Falls (2.26).

Household Size
V. of Honeoye Falls - 2000-2017



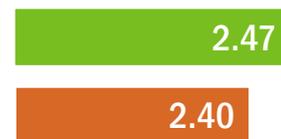
■ 2017 ■ 2000

Household Size
T. of Mendon - 2000-2017



■ 2017 ■ 2000

Household Size
Monroe County - 2000-2017



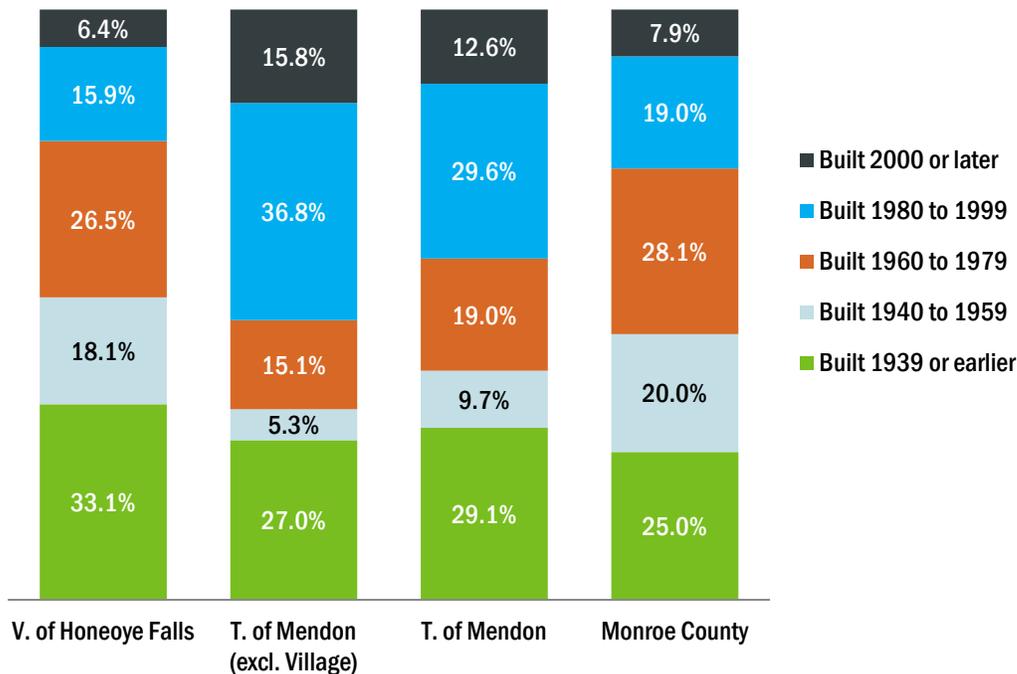
■ 2017 ■ 2000

Source: US Census Bureau 2000 and 2010 SF1 Decennial Census, American Community Survey 2013-2017 Estimates

Age of Housing Stock

Within the Town of Mendon (excluding the Village), the majority (52.6 percent) of the housing stock was built after 1979. Within the Village of Honeoye Falls, the majority (51.2 percent) of the housing stock was built in 1959 or earlier.

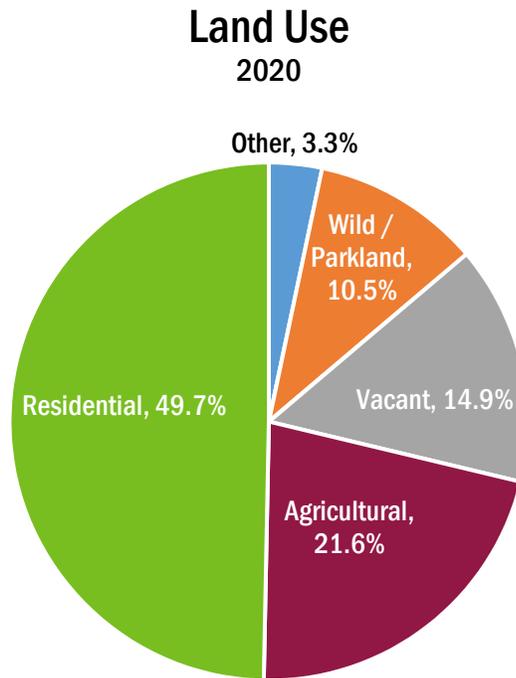
Year Housing Unit Built
2017



Source: American Community Survey 2013-2017 Estimates

LAND USE

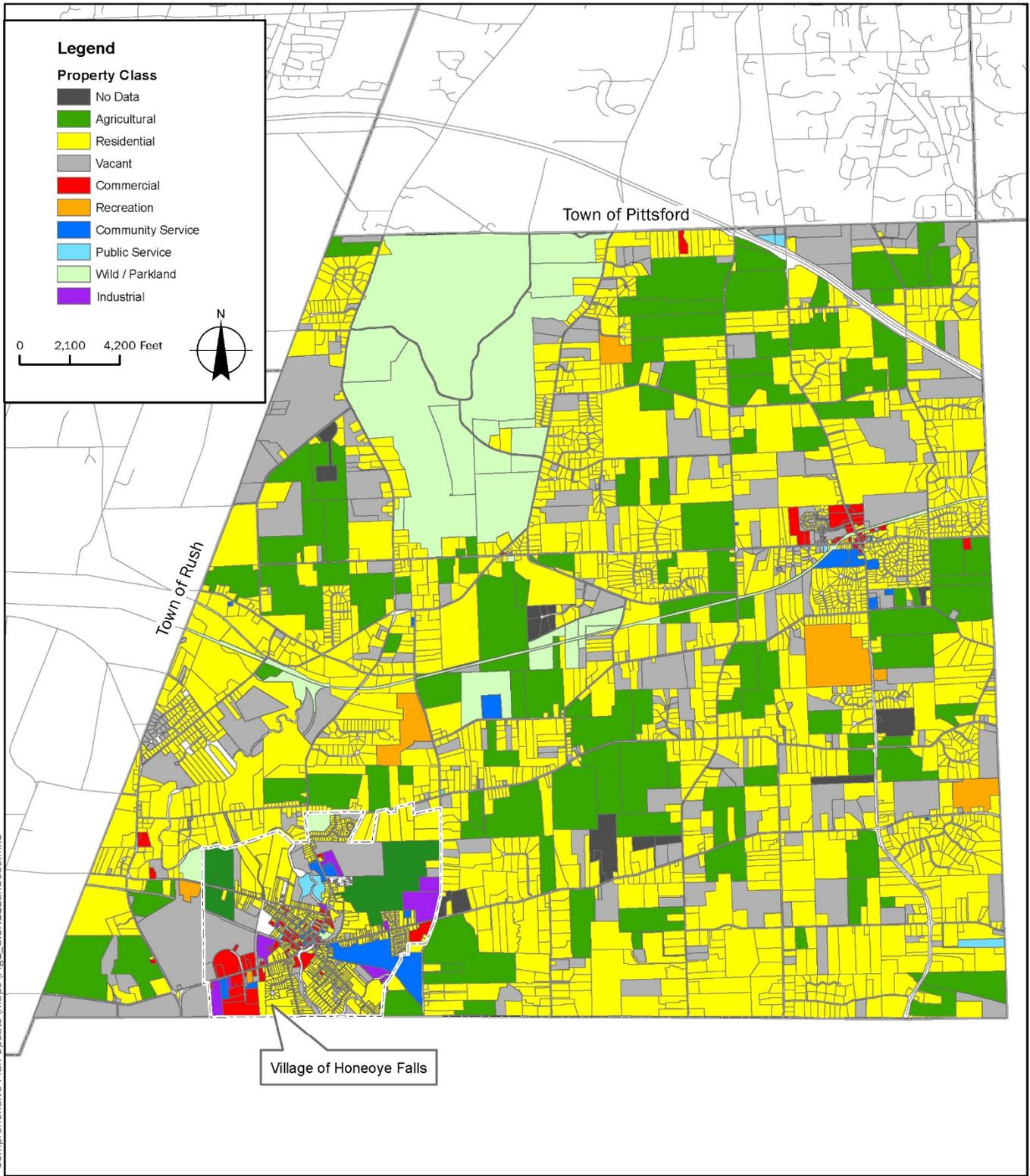
Residential and agricultural land uses dominate the Town of Mendon landscape (Figure 1, page 20). Together, these two land uses account for 71 percent of the land use within the Town by acreage. Outside of the Village, the only commercial center is in the Hamlet, and just 0.4% of land within the Town is classified as commercial. Commercial and mixed-use properties are clustered within the Hamlet and generally include a variety of small scale independently-owned shops, restaurants, and office space. Together, vacant land and wild / parkland (including Mendon Ponds Park) account for just over 25% of land use.



Source: Monroe County GIS Data

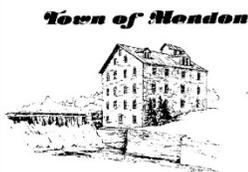
The land uses are based on real property data from Monroe County and can be described briefly based on information from the New York State Office of Real Property Services:

- Residential – property used for human habitation (single family, multi-family housing) but not including hotels/motels.
- Agricultural – property used for the production of crops or livestock.
- Vacant Land – property that is not in use, is in temporary use, or lacks permanent improvement.
- Wild/Parkland – Reforested lands, preserves and private hunting/fishing clubs.
- Other – all other uses, including commercial and industrial uses, that represented a small share of land acreage in the Town



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Sources:
 1. Property Classification: 2019 Tax Parcels, Monroe County
 2. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
 TOWN OF MENDON**

LaBella Project No: 2182388
 Date: JULY 2019

**LAND USE
 FIGURE 1**

ENVIRONMENTAL PROTECTION OVERLAY DISTRICTS

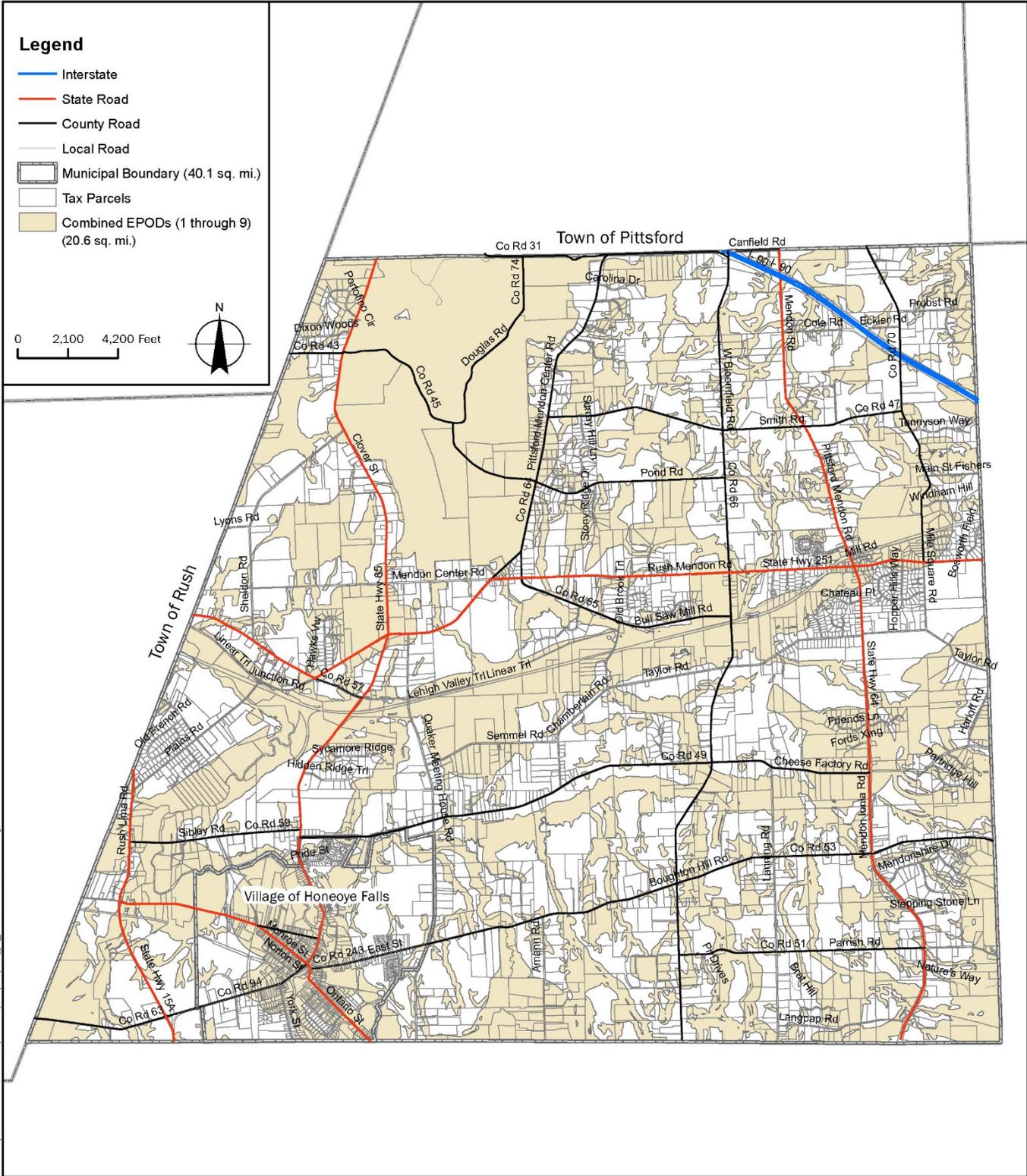
The Town of Mendon has nine Environmental Protection Overlay Districts (EPODs) to protect environmental and other important resources in the Town from inappropriate development. Per the Town's Code:

The EPOD regulations are intended to maintain open space and to prevent the irreversible loss of natural resources; enhance the safety of residents and property located within areas of special flood hazard; maintain and/or improve surface water quality; preserve wildlife habitats; enhance the aesthetics of site development; preserve important scenic vistas which are visible from public rights-of-way; maintain soil and slope stability; and control the impacts of development on the environment.

The EPODs are an essential part of the Town's development policy to protect and preserve its rural character and environmental quality. Town residents overwhelmingly supported maintaining the Town's rural character in Comprehensive Plan public meetings.

Figure 2 (page 22) shows the aggregation of all the EPOD overlay boundaries which together cover approximately 50% of the land area in the Town. The map is included in the Comprehensive Plan document because the EPODs provide important additional protections that traditional zoning and land use controls cannot protect. Figures 3 through 6 show additional information on wetlands, streams, floodplains, soils, agricultural districts and water infrastructure that provide the basis for the EPODs.





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- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. EPODs, Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

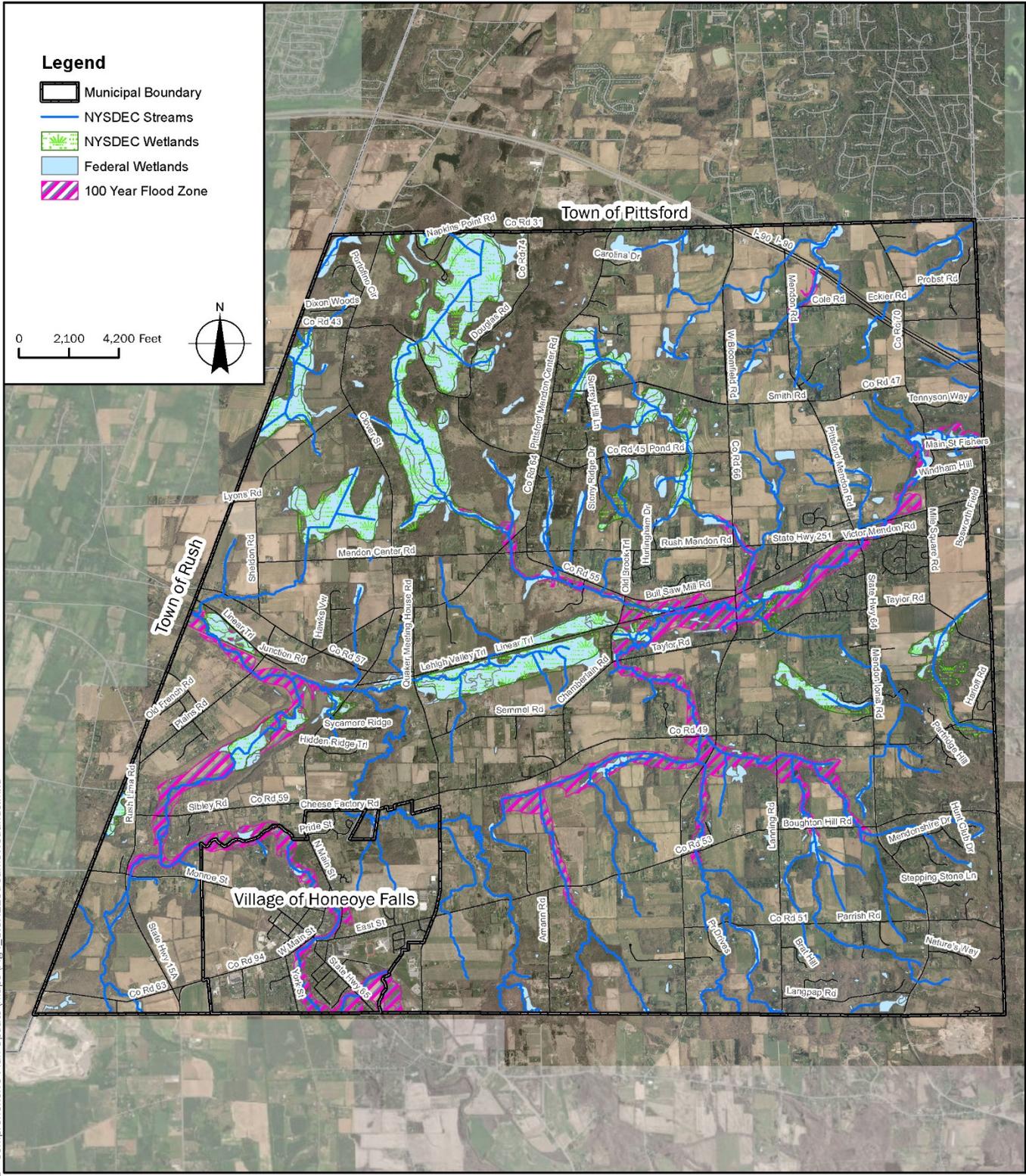
LaBella Project No: 2182388
Date: JUNE 2020

**EPODs
OVERLAY
FIGURE 2**

Legend

-  Municipal Boundary
-  NYSDEC Streams
-  NYSDEC Wetlands
-  Federal Wetlands
-  100 Year Flood Zone

0 2,100 4,200 Feet



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Sources:

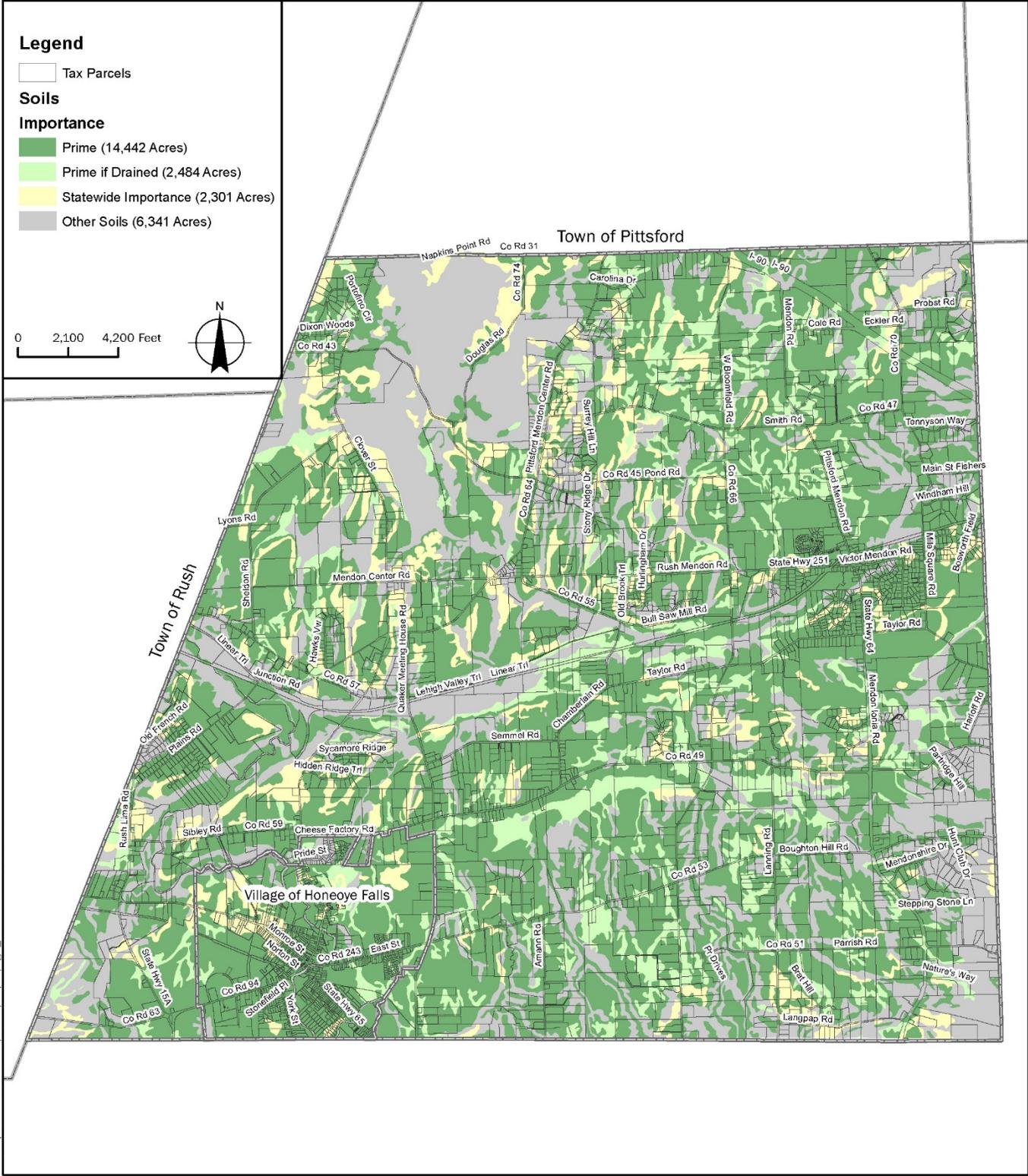
1. Roads, Monroe County
2. Streams and Wetlands, NYS DEC
3. Federal Wetlands, National Wetland Inventory
4. Floodplain, CUGIR
5. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: APRIL 2019

**STREAMS
WETLANDS
FLOODPLAINS
FIGURE 3**



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- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. Soils, NRCS



COMPREHENSIVE PLAN
TOWN OF MENDON

LaBella Project No: 2182388
Date: JUNE 2019

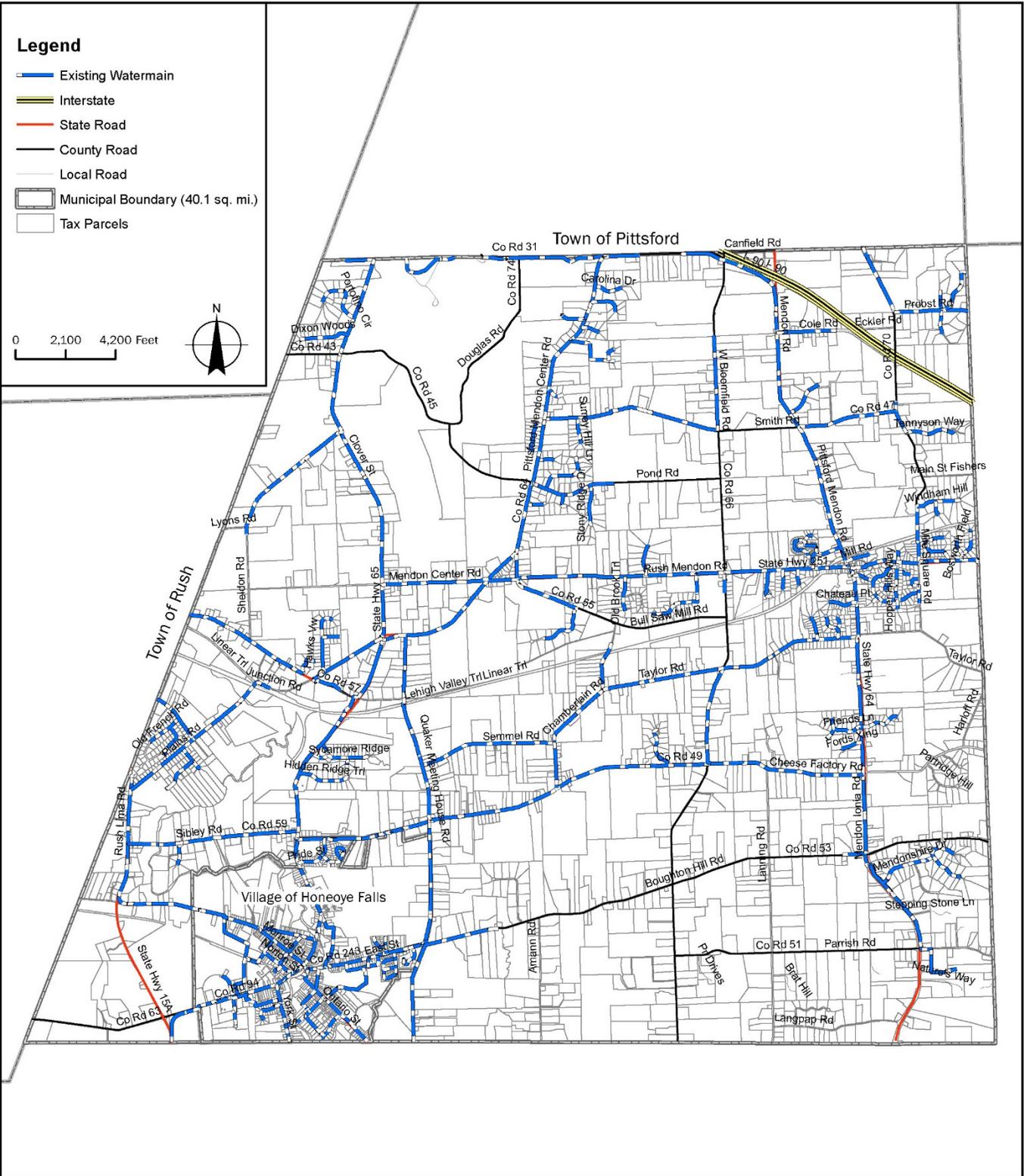
PRIME SOILS

FIGURE 4

Legend

-  Existing Watermain
-  Interstate
-  State Road
-  County Road
-  Local Road
-  Municipal Boundary (40.1 sq. mi.)
-  Tax Parcels

0 2,100 4,200 Feet



Path: I:\Mendon, Town of 2182388 - Comprehensive Plan Update\Maps\Fig18_8.5X11_WaterInfrastructure.mxd

- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. Water Mains, LaBella



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: SEPTEMBER 2019

**WATER
INFRASTRUCTURE
FIGURE 6**

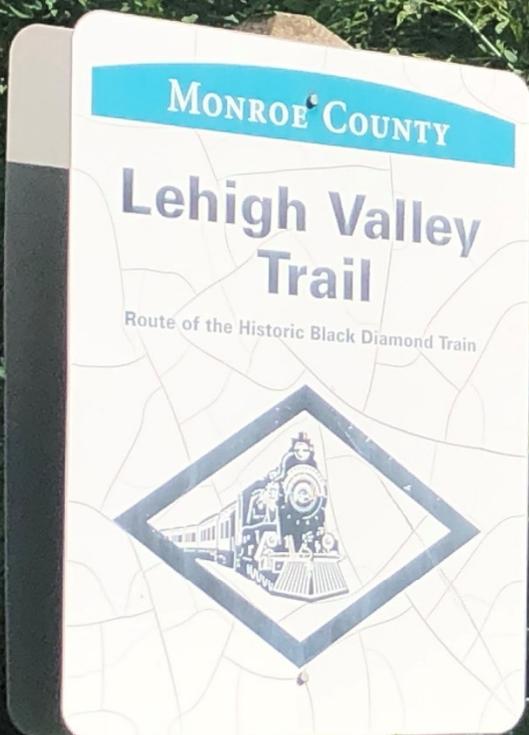
TRANSPORTATION

Mendon is fortunate to have exceptional access to and within the Town provided by multiple State and County roads (Figure 7, page 28). State routes 64 and 65 pass through the Town in a north-south direction – one on the east side of the Town and the other on the west side of Town. State route 251, on the other hand, traverses the Town in an east-west direction through a northern section of the Town. The Hamlet of Mendon is located at the intersection of NYS Routes 64 and 251.

A small section of State route 15A in the southwest section of the Town near Honeoye Falls provides access to Interstate 390 and the New York State Thruway (Interstate 90). The majority of the remainder of the roads in the Town are County routes.

In addition to vehicular access into the Town of Mendon there is one Rochester Transportation Service route that provides access for those who do not drive. RTS Route 101 provides weekday service between Honeoye Falls to Downtown Rochester and other points in between including several stops in Henrietta.

Area trails, including the Lehigh Valley Trail, complement vehicular and transit service by providing bicycle and pedestrian access to adjoining municipalities and other destinations. The trails in the Rochester area are so well connected a Mendon resident that works in Downtown could utilize the trail system to commute to work.





**COMPREHENSIVE PLAN
TOWN OF MENDON**

**Section II: Comprehensive Plan Vision and
Guiding Principles**

SECTION II: COMPREHENSIVE PLAN VISION AND GUIDING PRINCIPLES

The Comprehensive Plan Advisory Committee developed a Vision Statement supported by guiding principles (goals) and strategies to provide a framework for articulating recommendations for future land use and development within the Town. A comprehensive community visioning process was used to develop the vision, guiding principles, and strategies including a review of existing plans, Advisory Committee discussions, and broad-based public input.

COMMUNITY ENGAGEMENT

Advisory Committee

The Advisory Committee, providing direction for the planning process, included members of the Mendon community: local business owners, a farmer, a member of the Town Board, a member of the Town Planning Board, and residents having interests in different aspects of the Town. The Advisory Committee provided valuable input and feedback throughout the duration of the project.

The Advisory Committee met numerous times to provide input on the following:

- SWOT analysis (complete results in Appendix A): Members were asked to describe the strengths, weaknesses, opportunities and strengths of the Town and a snapshot of the responses include:
 - Strengths: Agricultural/farms, rural character, natural resources, sense of community, schools and public services
 - Weaknesses: Lack of sewer infrastructure, the Hamlet's lack of unified appearance, and aging-out across the farming community.
 - Opportunities: Intergovernmental cooperation, promotion of farming/agriculture, cluster development and Hamlet revitalization
 - Threats: Loss of farmland and lack of affordable housing.
- Visioning session – based on the SWOT analysis the Advisory Committee developed a Vision Statement for the future of the Town of Mendon.



Advisory Committee members reviewing potential future land use strategies

COMPREHENSIVE PLAN TOWN OF MENDON

- Advisory Committee Focus meetings concentrated on the following topics:
 - Built and natural environment
 - Environmental Protection Overlay Districts (EPODs)
 - Land Use and Zoning
 - Development trends within Mendon and land use trends in surrounding communities
 - Water and wastewater infrastructure and management
 - Soils and water resources
 - Parkland and historic resources
 - Government and community services
 - Transportation
 - Farmland and agriculture

Public Open House #1

The Advisory Committee hosted a public participation meeting inviting the general public to assist in developing goals and strategies for the Comprehensive Plan (results in Appendix B). The public participated in an interactive exercise to help identify, prioritize and comment on goals and strategies related to the following potential Comprehensive Plan focus areas:

- Future Land Use
- Growth Management
- Transportation and Infrastructure
- Economic Development
- Natural, Historic and Recreational Resources
- Housing and Neighborhoods
- Government and Community Services

Based on input received at stations for each of the categories, the public was most interested in the following:

- Renewable energy – favoring renewable energy with concerns about protecting natural landscapes and views.
- Promoting Agricultural Protection and Right-to-Farm
- Maintaining the Town’s rural character
- Continuing to protect the Town’s natural resources from inappropriate development
- Improving the walkability in the Hamlet center
- Solutions to wastewater management

Public Open House #2

A final virtual public house was held on August 18, 2020 to outline the recommendations in the Draft Comprehensive Plan. Those that attended were pleased with the recommendations and had no major comments or suggested changes.

TOWN OF MENDON COMPREHENSIVE PLAN UPDATE INITIAL GOALS & STRATEGIES

Participant input at the Open House on key plan areas

FUTURE LAND USE

Revise Cluster Zoning Provisions for shared open space

Promote Agricultural Protection—Density

Promote Agricultural Protection—Uses / Right to Farm / Economic Development

Introduce Incentive Zoning

Promote Smart Growth

Renewable Energy / Solar Farms Protection / Wind

Innovate PUD zoning and clustering to accommodate diversified housing

MINIMIZE REGULATIONS
MAXIMIZE PROFIT
OVER RIGHTS

Nuclear Power

Modern Wind Turbine For ≥ 5 acre lots

Solar panels on every roof
Geothermal for new construct.

GROWTH MANAGEMENT

Maintain rural character—Limit infrastructure extensions (esp. sewer) to appropriate locations

Maintain rural character—Encourage cluster zoning

Maintain rural character—Protect natural resources

Encourage agricultural protection—Of prime and valuable soils

Encourage agricultural protection—Of agricultural uses allowed

Encourage agricultural protection—Of farm stands, on-site sales & other Ag econ. dev. needs

Cluster zoning but no extra houses. So if only 50 houses allowed, then 50 approved with open space saved.

Dark Sky Lighting

VISION STATEMENT

The vision, guiding principles (goals), and strategies offer a framework for decision making in the future and establish evaluation criteria toward implementation. They support the long-term direction of the Town of Mendon, its quality of life, land use, and economy. The vision was created based on community input and feedback from the Advisory Committee.

The Vision Statement developed by the Committee, and reviewed by the public will provide guidance and a filter for decisions and actions related to the Mendon's future:

<p>VISION STATEMENT Town of Mendon Future Development</p> <p>Mendon's strong sense of community character and commitment to stewardship of resources are essential priorities as our community moves forward. Our community strives to advance the quality of life for residents and businesses by promoting responsible growth, creating adaptive policies, and following sound growth management strategies.</p>	
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GUIDING PRINCIPLES

While the Vision Statement provides policy guidance for the Plan, the Guiding Principles (Goals) enumerated below are “big picture” concepts that support the Vision Statement and address concerns and priorities expressed by the community:

1. Preserve the rural, open character of the community



Mendon is valued for scenic views, farms and open spaces that are prevalent throughout the community. Incremental development of large parcels into residential subdivisions threatens to eliminate these resources until, over time, Mendon is no longer reflects a rural community character, but resembles a more densely developed suburban landscape.

Several mechanisms may help the Town maintain Mendon’s rural character including limiting infrastructure extensions, options for designing new development, acquiring development rights, requiring conservation easements, and adherence to the Town’s Environmental Protection Overlay Districts.

COMPREHENSIVE PLAN TOWN OF MENDON

2. Protect the Town's natural and historic resources.



The Town of Mendon has a wealth of natural, geological, historic and archeological resources within its borders. Protection of these resources is a key goal of the Comprehensive Plan. Recommendations include conservation easements to manage potential future development in sensitive areas and continuing to use the Town's existing Environmental Protection Overlay Districts.



3. Manage growth in a manner that is equitable for landowners and supports development that protects the integrity of the Town's landscape.



The Comprehensive Plan demonstrates a commitment by the Town of Mendon to balance the interests of individual landowners with the interests of the community as a whole. The Town will ensure that new development is consistent with Town and State codes.

This Plan emphasizes protecting open spaces and natural resources through creative design. The Comprehensive Plan also promotes development that incorporates the permanent protection of open space and natural resources including the acquisition or protection of farmland.

Emerging land uses such as renewable energy, patio homes, and empty-nester housing will be considered by the Town for future development.

COMPREHENSIVE PLAN TOWN OF MENDON

4. Maintain the Hamlet of Mendon and the Village of Honeoye Falls as the two focal points for business and economic development in the Town.



Historically, the Village of Honeoye Falls and the Hamlet of Mendon are the centers of population and commerce in the Town. The Comprehensive Plan includes recommendations to support the business district in the Hamlet, to explore potential wastewater and stormwater solutions for the Hamlet core, and to upgrade other Hamlet infrastructure including sidewalks. The Future Land Use Plan also envisions light industrial and higher density residential development in areas adjoining the Village of Honeoye Falls based on sanitary sewer capacity.

5. Assure public access to amenities that provide a high quality of life for Town of Mendon residents.



While quality of life encompasses one’s residence and neighborhood, Town services, public infrastructure, and cultural offerings contribute to vital neighborhoods and a vibrant community profile. And, public input emphasizes the importance of protecting these assets to maintain the quality of life Mendon residents enjoy.

The Comprehensive Plan emphasizes maintaining and broadening the vitality of the Hamlet of Mendon as a focal point for nearby residential neighborhoods. It encourages the development of pedestrian walkways and bicycle trails to improve access, connectivity and circulation with existing traffic corridors.

Several recommendations in the Comprehensive Plan address community services viewed by Town residents as key for quality of life. Considerations include parks, recreation programs and facilities, library services, our award-winning public schools and the maintenance and expansion of parks and trails.

COMPREHENSIVE PLAN TOWN OF MENDON

6. Provide and maintain public facilities and services that are necessary to protect the health and safety of Town residents.

The Town of Mendon is committed to protecting the health and safety of its residents. To this end, the Comprehensive Plan explores opportunities to preserve the health, safety and welfare of the general public. This includes observations and findings on emergency services as well as water service, wastewater and stormwater management, and water body protection.

7. Maintain fiscal responsibility.

The Comprehensive Plan reflects the commitment of the Town Board to be cost-efficient in the delivery of services and the maintenance of public infrastructure. To this end, the Comprehensive Plan continues to recommend that new residential developments avoid the use of cul-de-sacs and road designs that are expensive or inefficient to maintain. The Plan emphasizes cooperation with other governmental and private entities in the delivery of services.

The Comprehensive Plan also seeks to diversify and increase the tax base by continuing to permit commercial and industrial development through zoning. In addition, the preservation of natural features and the continued viability of farming in the Town will help maintain rural character and minimize the demand for public infrastructure.

8. Encourage cooperation among local boards, with private organizations, other governments, and engage citizens.

Cooperation and coordination are essential to the efficient operation of local government.

The Comprehensive Plan calls for the Town's appointed boards to coordinate their review of development proposals. For example, the Historic Preservation Commission has a role in reviewing proposals for development within 500 feet of designated historic sites, and the Environmental Conservation Board assists review to protect sensitive natural features. Input from these boards and others is important to ensure a thorough vetting for all proposals presented to the Town.

The Comprehensive Plan identifies private organizations such as the Mendon Foundation and the Mendon Business Association as partners to deliver programs, services and activities across the community spectrum, and specifically for the Lehigh Valley Trail, and to support the vitality of the Hamlet's business environment.

The Town of Mendon will continue to pursue inter-municipal cooperation agreements with the Village of Honeoye Falls, the Honeoye Falls-Lima Central School District, and Monroe County to secure service and program efficiencies.

And, citizen involvement in Committees and public forums helps ensure a cooperative and inclusive approach to Town governance



COMPREHENSIVE PLAN TOWN OF MENDON

Section III: Comprehensive Plan Strategies

SECTION III: COMPREHENSIVE PLAN STRATEGIES

To realize the Vision of Comprehensive Plan, a set of strategies has been developed by the Comprehensive Plan Advisory Committee. Some of them are new and based on a review of existing conditions, public input, and trends in the community and regional economy. Others that are still relevant from the 2005 Comprehensive Plan and have broad Advisory Committee and community support have been migrated to this 2020 plan.

The strategies provide the foundation for future development, preservation of community assets, and maintenance of desirable community services within the Town of Mendon:

1. **Future Land Use** – what kind of uses are appropriate in the community, where should they be located, and how should they be developed, preserved or sustained?
2. **Growth Management:** How does the Town regulate development to ensure it provides opportunities for growth while protecting the Town’s natural resources, open spaces, historic sites, and prime farmland?
3. **Transportation and Infrastructure:** What forms of transportation are desirable in the community and what kinds of infrastructure are needed to support the future land use plan?
4. **Economic Development:** What types of economic development are attracted to and appropriate in the Town to promote economic development, provide additional jobs, and encourage investment in the community?
5. **Natural, Historic and Recreational Resources:** How should the Town preserve its natural, historic and recreational resources?
6. **Housing and Neighborhoods:** How do we encourage appropriate housing options in the community that respond to demographic and community needs while promoting neighborhoods consistent with the Town’s rural character and residential settings?
7. **Government and Community Service:** What strategies are needed to maintain or improve fiscal stability to ensure the delivery of local government and community services?

FUTURE LAND USE

The land use strategies that have been developed by the Comprehensive Plan Advisory Committee are based on detailed Committee discussions, input from the public, and a review of Town demographic trends. Key issues that emerged from those activities include:

- Finding a balance between preserving the incredible natural, historic and other community assets with a property owner's development rights;
- Protecting farmland, the use of farmland and the Town's agricultural economy in the Town;
- Maintaining development consistent with the Vision and Guiding Principles (Goals) of this Plan; and
- Encouraging development that utilizes existing infrastructure.

FUTURE LAND USE AREAS

Both the Comprehensive Plan Advisory Committee and the participants at the Public Open House do not want to significantly alter the current land use strategy. In short, the community is happy with the current development patterns and rural character of the community. As a result only minor changes are suggested for future land use including slightly more development in and near the Hamlet and Village.

A description of the future land uses includes (Figure 8, page 50):

Hamlet Core Area

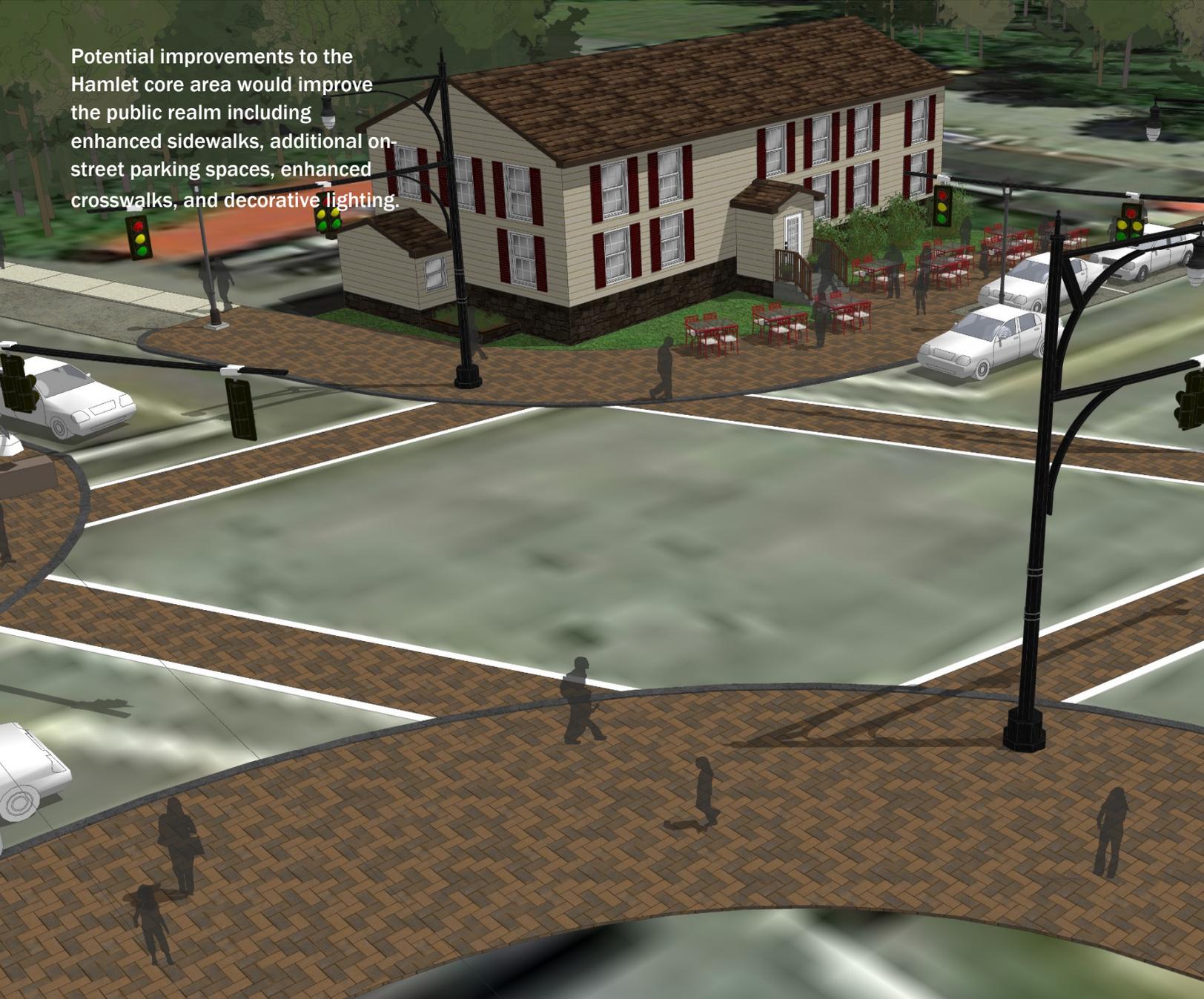
The Core Area includes the "four corners" area at the intersection of New York State Routes 64 and 251, the professional office buildings along Assembly Drive, and additional properties to the north along Route 64 and to the west along Route 251. Segments of the Lehigh Valley Trail and Irondequoit Creek pass through this area. Community service and recreational uses include churches and Little League fields. The Comprehensive Plan supports a mix of residential, neighborhood-oriented commercial uses, community services and recreational uses.

Design standards for the Core Area should promote pedestrian scale development, neighborhood connectivity and the enhancement of the viability of the business district. Standards should address, signage, building alignment, parking configuration (including on-street parking with coordination and cooperation with the NYS Department of Transportation), street trees, landscaping, buffers and maintenance of properties.

A wastewater management plan is recommended to correct existing problems with on-site wastewater disposal in the Hamlet Core Area to eliminate pollution of Irondequoit Creek, support existing businesses, and accommodate residential units above stores. Investment in infrastructure, such as public parking, street lighting, sidewalks, roads and drainage facilities, is also recommended to support the land use objectives. Higher density residential development, such as townhouses and senior citizen apartments, will

require additional infrastructure improvements beyond that which is envisioned in the Comprehensive Plan.

Potential improvements to the Hamlet core area would improve the public realm including enhanced sidewalks, additional on-street parking spaces, enhanced crosswalks, and decorative lighting.



COMPREHENSIVE PLAN TOWN OF MENDON

Hamlet Transition Area

Land to the west, south and east of the Hamlet Core Area is designated as “Hamlet Transition.” This area encompasses the existing residential subdivisions and Planned Unit Development as well as the golf course, farmland, and vacant land that is likely suitable for development if designed to enhance of the greater Hamlet area.

This area is envisioned to be developed with residences in such a way that the neighborhoods are oriented toward the Hamlet Core Area. A variety of housing types will be permitted, including townhouses and “patio homes.” Recommended densities are approximately 30,000 sq. ft. per dwelling unit, although smaller lot sizes may be appropriate with the use of innovative design concepts and provided sanitary wastewater needs are able to be adequately addressed.

Infrastructure improvements will support pedestrian circulation and connectivity through the provision of sidewalks, walking trails, appropriate street lighting and other amenities. Improved bicycle access to the Hamlet and nearby recreation areas are also encouraged.

Suburban Residential

Land areas west and northwest of the Village of Honeoye Falls are designated as Suburban Residential. This designation is recommended for residential development at an overall density of 30,000 sq. ft. per dwelling. Smaller lots may be appropriate with the use of innovative design concepts.

Similar to the Hamlet Transition Area, the design of development in the Suburban Residential areas must meet standards that emphasize neighborhood development. (See samples of design guidelines in Appendix C.) New development will incorporate pedestrian and bicycle links into the Village of Honeoye Falls. Recommended infrastructure improvements include sidewalks, street trees, and drainage facilities. Residential subdivisions would be required to incorporate open space into their design.

Agricultural/Rural Residential

Most of the Town is designated as Agricultural / Rural Residential. Residential development at an average overall density of three to five acres per dwelling unit is envisioned throughout these areas. Farmland and natural resources within Agricultural / Rural Residential areas warrant a separate layer of protection (see the Environmental Protection Overlay District Maps.) The intent is to limit the overall density of development in the rural areas of the Town to an average of three to five acres per dwelling unit and to preserve farmland and natural resources. A significant amount of the parcel proposed for development will be required to be set aside as open space. The amount of land to be set aside for open space will be determined by the Town Code and on an individual case basis depending on the amount and type of significant open space that is suitable for protection.

The design of development in Agricultural / Rural Residential areas must meet standards that ensure that natural features and scenic vistas are preserved, land is used efficiently, and the visual impact of new development is minimized for neighboring properties.

Development in these areas must be consistent with the rural, open character of the community and be compatible with agricultural operations and outdoor recreational uses.

Recommended infrastructure improvements in Agricultural / Rural Residential areas are limited to public water system extensions, maintenance of roadways, and appropriate stormwater management practices. Other infrastructure improvements may be considered in exceptional situations where they would not conflict with the objectives of the Comprehensive Plan.

Village Residential

The Village Residential land use is intended to provide a built physical environment that would resemble residential development at a scale similar to a density that one would find in a village setting. This land use category would allow for small lot development between $\frac{1}{4}$ of an acre to $\frac{1}{2}$ an acre, which would accommodate single-family homes, empty-nester homes or patio homes. A small area immediately adjacent to the east side of the Village is designated for this type of development, which will provide connectivity to the Village and nearby school with sidewalks.

Such development will likely connect to wastewater treatment facilities, such as the sanitary sewer infrastructure. Currently, the Village has a finite capacity to accommodate wastewater flows within the Village alone, let alone any consideration for extending service beyond its municipal boundary into the Town of Mendon. An engineering report would need to be assembled and submitted by a potential developer that would identify potential wastewater flows for a conceptual development.

Industrial/ Business

A small portion of the Town, west of the Village, adjoining or in close proximity to NYS Route 15-A, is designated for Industrial / Business use. This is the only area where the Town envisions light industrial uses. Light manufacturing (such as assembly or processing that takes place entirely within an enclosed building) and office park or other similar business uses are envisioned in this area. There is currently no access to sanitary sewer infrastructure. Business or industrial development will help diversify the Town's property tax base and relieve some of the financial tax burden on residential properties. Design standards for business and industrial uses will ensure that development proposals are compatible with natural features, and that design plans incorporate buffers along boundaries with residential uses.

The extension of sewer service from the Village is recommended, provided that geological, technical and financial obstacles can be resolved. Bedrock located near the surface is prevalent in this area presenting challenges for utility connections.

COMPREHENSIVE PLAN TOWN OF MENDON

Parks

Existing parks in the Town of Mendon including within the Village of Honeoye Falls are designated for future park and recreation use in the Future Land Use map. These include Mendon Ponds Park, Dreisbach Park, Great Bend Park, Rochester Junction Park and Monroe Street Village Park, to name a few.

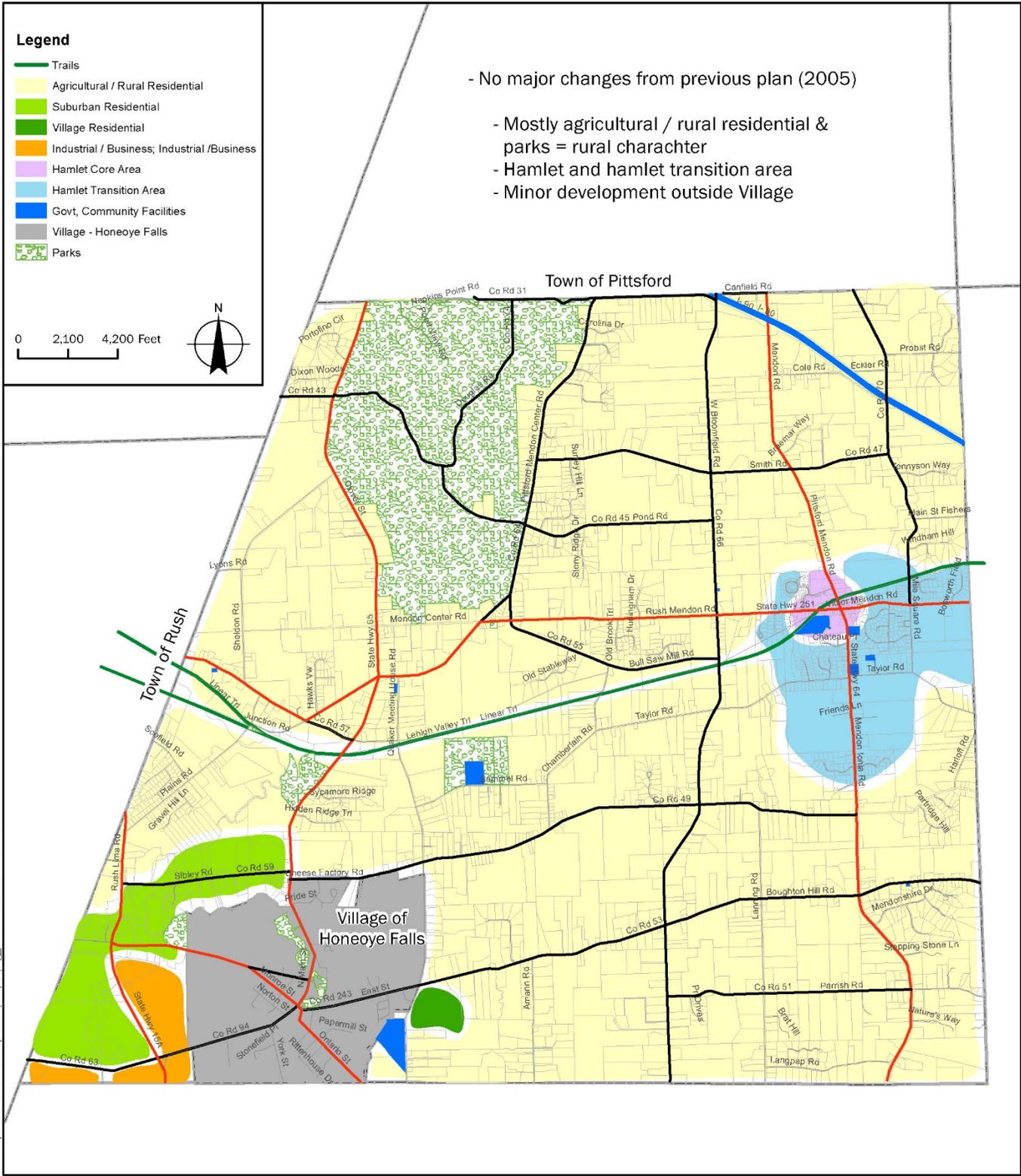
Government/ Community Facilities

Land owned by the Village of Honeoye Falls, the Town of Mendon, the Honeoye Falls-Lima School District or a non-government organization are designated on the map for planning purposes, as the Advisory Committee expects their continuing use for government and community service.

Among other facilities, these properties include the Town Highway Department, the School Campus on the east side of the village, and several cemeteries.



Maintaining the aesthetic quality of development and redevelopment that is compatible with Mendon's character is an important land use strategy



- No major changes from previous plan (2005)

- Mostly agricultural / rural residential & parks = rural character
- Hamlet and hamlet transition area
- Minor development outside Village

Path: I:\Mendon_Town of 2182388 - Comprehensive Plan Update\Maps\Fig_FUTURELANDUSE.mxd

Sources:
1. 2019 Tax Parcels, Monroe County



COMPREHENSIVE PLAN
TOWN OF MENDON

LaBella Project No: 2182388
Date: JUNE 2020

FUTURE
LAND USE
FIGURE 8

FUTURE LAND USE

1. Revise the Town Zoning Map and regulations in accordance with the Future Land Use Map.
2. Promote renewable and sustainable energy technology uses, and businesses involved with sustainable energy technology.
3. Promote solar-energy technology uses in small-scale development.
4. Maintain high standards of new development and redevelopment by following design criteria established by the Town.
5. Develop Design Guidelines for the Hamlet of Mendon.
6. Protect and maintain Mendon's rural character.
7. Maintain the aesthetic quality of building development and redevelopment compatible with Mendon's character
8. Maintain quality of dark night sky and illumination performance.
9. Encourage establishment of farmstands as a Special Use with Planning Board approval in areas where Ag lands are prevalent.

Preservation of Mendon's rural character and agricultural economy are important growth management objectives



GROWTH MANAGEMENT

Growth Management is a critical issue in the Town of Mendon. The Advisory Committee encourages growth to generate tax revenues and provide a stable financial environment to sustain Town and community services. Priority issues that emerged during public and Advisory Committee meetings include:

- Limiting infrastructure extensions, especially sewer, only as necessary.
 - Protecting the real estate values of property owners, especially farmers who have cared for and invested in their properties for generations.
 - Revitalize and continue development and redevelopment of the Hamlet of Mendon and the Village of Honeoye Falls.
1. Maintain the rural character of Mendon’s countryside. between existing and future easements.
 2. Guide concentrations of development in and around the population centers of the Village and Hamlet. 6. Incorporate open spaces and scenic vistas into the design of new development as defined in the Code of the Town Mendon.
 3. Continue the use of cluster subdivisions as currently articulated in Section 226-8 of the Mendon Town Code. 7. Coordinate the planning, regulation and design of roadways between developments to promote connectivity.
 4. Support the transfer of development rights from properties the Town would like undeveloped or protected to properties where development at higher densities is acceptable. 8. Minimize the impact of residential development on agricultural operations.
 5. Map existing conservation easements for reference during future subdivision review. This may encourage connectivity 9. Guide development away from prime agricultural soils.
 10. Promote the continued viability of agriculture and its prominent place in the Town’s economy.



All forms of transportation, including trails, are important components of Mendon's infrastructure.

TRANSPORTATION AND INFRASTRUCTURE

Future development in the Town of Mendon is strongly influenced by the availability of infrastructure. To maintain the Town’s rural character the Comprehensive Plan Advisory Committee and the public stressed the importance of limiting infrastructure improvements, especially sanitary sewer infrastructure as it relates to increases in residential density.

In 2005 a preliminary engineering report was completed to design and create a sanitary sewer district within the Hamlet of Mendon. This district would include 75 parcels and approximately 60 acres in the historic Hamlet center to replace individual septic systems with sanitary sewer infrastructure and wastewater treatment. The system would address health issues at multiple properties. The report offered several options but cost outweighed the benefits of construction.

However, participants at the Comprehensive Plan Open House expressed the need for solutions regarding wastewater in the Hamlet. They also wanted to improve walkability in the Hamlet Center.

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Coordinate the planning, regulation and design of access between roadways and land development to promote connectivity. 2. Improve walkability and create pedestrian connections within and into the Hamlet. 3. Improve on-street and off-street parking availability in the Hamlet. 4. Encourage Complete Streets that accommodate all traffic (car, bike, pedestrians) in appropriate areas. 5. Enhance trail connectivity to the Village of Honeoye Falls. 6. Improve pedestrian safety and access to school grounds where appropriate. 7. Assure new development does not have adversely affect traffic access and roadway patterns 8. Assure pedestrian safety within new developments. | <ol style="list-style-type: none"> 9. Develop or extend wastewater systems to appropriate areas as an incentive for strategic area development. 10. Extend public water service to areas that have documented public health concerns. 11. Ensure fire protection is sufficient for exposures in new developments 12. Support inspection and maintenance of existing and future stormwater management facilities. 13. Develop and maintain diversified transportation systems for all users. 14. Prepare regulations for the possibility of electric vehicles and other emerging transit fuels. 15. Continue to install streetscape improvements including decorative lighting, street trees, and signage throughout the Hamlet Center. 16. Obtain grant or low-interest financing to support infrastructure improvement |
|--|---|

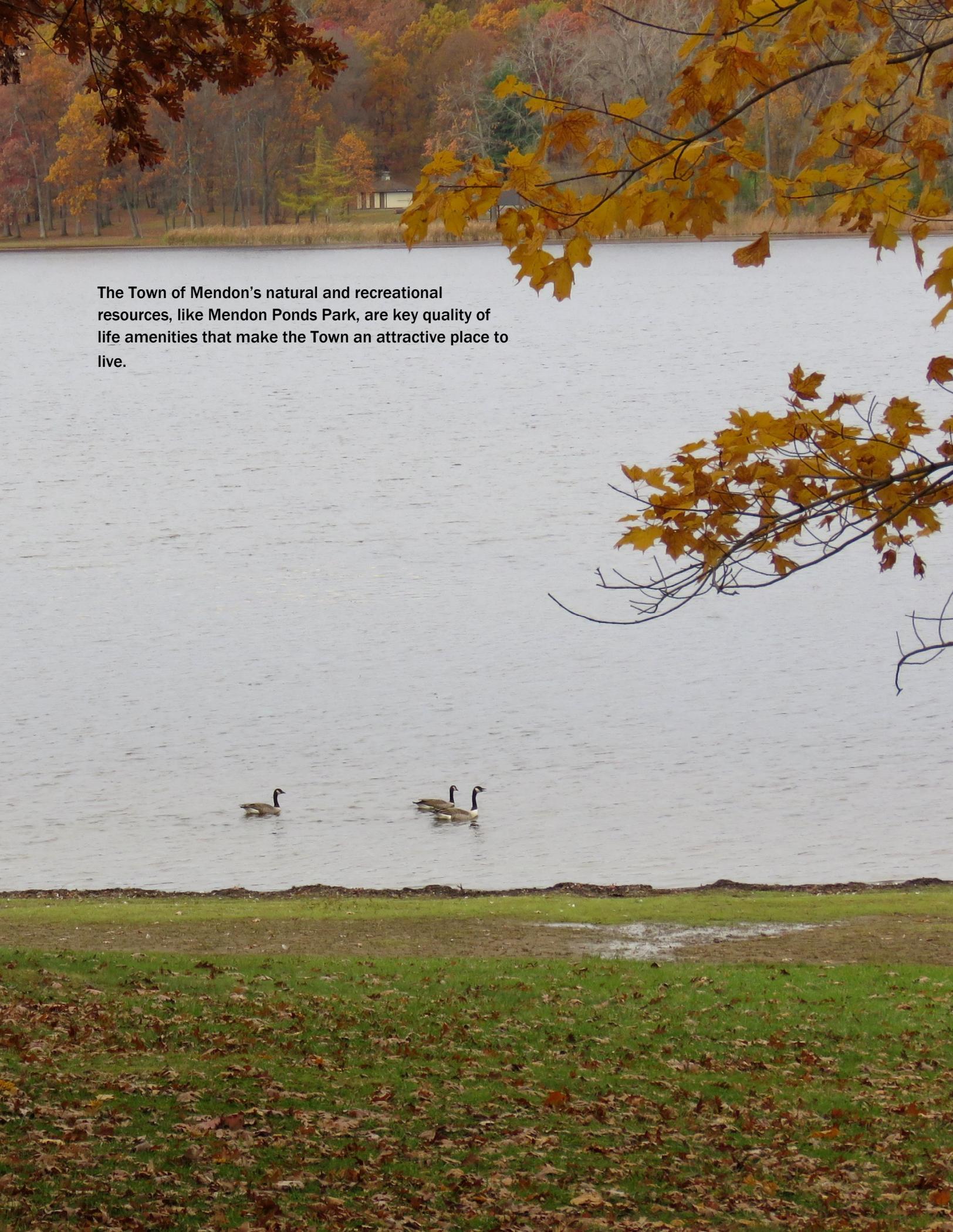
Agriculture is still active and important to the Town's economy



ECONOMIC DEVELOPMENT

To protect the Town’s rural character, and align with infrastructure requirements, economic development should be in concert with Town Zoning. The Advisory Committee, and participants at the Open House, encourage agricultural economic development such as wineries, breweries, cideries, and/or farm stands. Small scale development protects the rural character of the Town and preserves capacity on Town’s utility systems.

1. Promote agricultural economic development with wineries, breweries, cideries.
2. Prepare zoning regulations to deal with potential legalization of cannabis.
3. Promote the continued economic viability of agriculture and agri-tourism.
4. Promote acceptance of farming practices in the community.
5. Encourage non-farming agri-business that support area agriculture needs.
6. Encourage existing farmers to obtain help with succession plans to maintain farmland in active production.
7. Expand markets to increase sales of local farm products.
8. Support the development of the Hamlet of Mendon including maintaining mixed use zoning, developing solutions for on-site and off-site parking, and following design guidelines for improvements and new development.
9. Develop a mixed-use Hamlet center.



The Town of Mendon's natural and recreational resources, like Mendon Ponds Park, are key quality of life amenities that make the Town an attractive place to live.

NATURAL, HISTORIC AND RECREATIONAL RESOURCES

The strategy, “continue to protect natural resources from inappropriate development”, received the most support at the public Open House. Natural resources are highly valued by Town residents and clearly a reason why they choose to live in Mendon. Mendon has an abundance of natural resources, many of which are protected through municipal (Town, County) ownership and by the Town’s progressive Environmental Protection Overlay Districts (EPOD).

Historic and recreational resources are equally important in the Town for defining its character and provide valuable amenities for its residents.

1. Protect natural resources from inappropriate development.
2. Protect capacity of natural watercourses from losses due to accumulation of debris.
3. Continue to protect historic resources through education and incentives.
4. Maintain and enhance the connectivity between existing parklands and trails including:
 - Connections between Mendon Ponds Park and the Lehigh Valley Trail
 - Building a hiking trail along Irondequoit Creek within the Hamlet to link the Lehigh Valley Trail.
5. Preserve contiguous areas of protected land.
6. Protect area waterbodies from pollution.
7. Obtain funding to assist with developing new parkland.



A greater diversity of housing options, like the newer patio homes in Mendon pictured here, are needed in the Town to ensure residents can continue to live in the Town and new residents are attracted to live in the Town.

HOUSING AND NEIGHBORHOODS

Housing options, vibrant neighborhoods and resident amenities are what attracts and maintains a steady population base within the Town of Mendon. However, there is a lack of diversity in the types of housing available and this is especially true for households at both ends of the age spectrum – younger families, and older couples or individuals. This was an issue in the previous 2005 Comprehensive Plan and it continues to be an even greater issue today. A majority of the strategies focus on this issue.

1. Encourage a greater diversity of housing choices including patio homes and empty-nester housing.
2. Promote clustering and higher density development where soils and infrastructure can support it.
3. Discourage development of cul-de-sacs to improve neighborhood connectivity.
4. Promote mixed-use development and redevelopment within the Hamlet of Mendon.
5. Continue to encourage appropriately scaled higher density housing in the Hamlet of Mendon.
6. Maintain older and historic housing units within the Town.

GOVERNMENT AND COMMUNITY SERVICES

The performance and level of Town services receive praise from the Advisory Committee and the public who attended the Open House. Strategies and recommendations focus to maintain and strengthen government and community services.

1. Improve and expand level of communications among Town boards and Town departments.
2. Maintain cost-efficient and cost-effective services in the Town.
3. Continue to identify opportunities for consolidation of services, sharing of personnel and equipment, and cooperative purchases with the Village of Honeoye Falls and other local governments or districts.
4. Explore and implement partnership opportunities between the Town and School District to provide facilities for recreation and sports.
5. Ensure Fire and EMS services have capacity to meet Town expectations for continuity of service today and with new development proposals.
6. Periodically confirm the Town's Library is responsive to community needs, emerging technology, and patron use trends.
7. Establish government resiliency measures to address and adapt to natural disasters, public health emergencies and other emergencies to ensure continuity of government.



ALIGNMENT OF STRATEGIES WITH GUIDING PRINCIPLES

The following table outlines the alignment between the strategies proposed and the guiding principles (please refer to Guiding Principles for full titles and descriptions).

Future Land Use Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Revise the Town Zoning Map and regulations in accordance with the Future Land Use Map.	●	●	●	●				
2. Promote renewable and sustainable energy technology uses, and businesses involved with sustainable energy technology.	●		●					
3. Promote solar-energy technology in small-scale development.	●		●					
4. Maintain high standards of new development and redevelopment.	●		●	●	●			
5. Develop Design Guidelines for the Hamlet of Mendon		●	●	●	●			
6. Protect and maintain the rural character of Mendon	●	●	●	●	●	●	●	
7. Maintain aesthetic quality of building development and redevelopment.		●	●	●	●			
8. Maintain quality of dark night sky and illumination performance.	●		●		●			
9. Encourage establishment of farmstands as a Special Use with Planning Board approval in areas where Ag lands are prevalent.	●				●		●	

COMPREHENSIVE PLAN TOWN OF MENDON

Growth Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Maintain rural character of Mendon's countryside	●	●	●	●	●	●	●	
2. Guide concentrations of development in and around the population centers of the Village and Hamlet.	●	●	●	●	●	●	●	
3. Continue the use of cluster subdivisions as currently articulated in Section 226-8 of the Mendon Town Code.	●	●	●			●	●	
4. Support the transfer of development rights from properties the Town would like undeveloped or protected to properties where development at higher densities is acceptable.	●	●	●	●				
5. Map existing conservation easements for reference during future subdivision review. This may encourage connectivity between existing and future easements.	●	●	●					
6. Incorporate open spaces and scenic vistas into the design of new development	●	●	●		●			
7. Coordinate the planning, regulation and design of access between roadways and land development.			●			●		
8. Minimize impact of residential development on agriculture.	●		●		●			
9. Guide development away from prime agricultural soils	●		●					
10. Promote the continued viability of agriculture	●		●					

Transportation Strategies' Goal Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Coordinate the planning, regulation and design of access between roadways and land development.			●			●	●	
2. Improve walkability and create pedestrian connections within and into the Hamlet.				●	●	●		
3. Improve on and off-street parking availability in the Hamlet.				●	●	●		
4. Encourage development of Complete Streets (car, bike, pedestrians) in appropriate areas.				●	●	●		
5. Enhance trail connectivity to the Village of Honeoye Falls.		●		●	●	●		
6. Improve pedestrian safety and access school grounds.					●	●		
7. Assure new development does not have adverse effect on traffic and roadways.			●		●	●	●	
8. Assure pedestrian safety within new developments.					●	●		
9. Develop or extend wastewater management to appropriate areas as an incentive for strategic area development.			●	●		●	●	
10. Extend public water service to areas that have documented public health concerns.					●	●		
11. Ensure fire protection is sufficient for exposures in new development.			●		●	●	●	
12. Support inspection and maintenance of existing and future stormwater management facilities.					●	●	●	
13. Develop and maintain diversified transportation system for all users.			●	●	●	●		
14. Prepare regulations for the possibility of electric vehicles and other emerging transit fuels.			●		●	●		
15. Continue to install streetscape improvements throughout the Hamlet center.		●		●	●	●		
16. Obtain grant or low-interest financing to support infrastructure improvements.					●	●	●	

COMPREHENSIVE PLAN TOWN OF MENDON

Economic Development Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Promote agricultural economic development with wineries, breweries, and cideries.	●				●		●	
2. Prepare zoning regulations to deal with potential legalization of cannabis.					●			
3. Promote the continued economic viability of agriculture and agri-tourism.	●		●				●	
4. Promote acceptance of farming practices in the community.	●		●					
5. Encourage non-farming agri-business.	●		●					
6. Encourage existing farmers to obtain help with succession plans.	●							
7. Expand markets to increase sales of local farm products.	●						●	
8. Support the development of the Hamlet of Mendon including maintaining mixed use zoning, developing solutions for on-site and off-site parking, and following design guidelines.			●	●	●	●	●	
9. Develop and promote a mixed use Hamlet center.			●	●	●		●	

Natural, Historic and Recreational Resources Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Protect natural resources from inappropriate development	●	●	●		●			
2. Protect capacity of natural watercourses from losses due to accumulation of debris.	●	●	●		●			
3. Continue to protect historic resources		●	●	●	●			
4. Maintain and enhance the synergy between existing parklands, trails and population centers.		●		●	●	●		
5. Preserve contiguous areas of protected land.	●	●	●		●			
6. Protect area waterbodies from pollution		●			●	●		
7. Obtain funding to assist with developing new parkland.		●			●	●	●	

COMPREHENSIVE PLAN TOWN OF MENDON

Housing and Neighborhoods Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Encourage a greater diversity of housing choices			●	●	●		●	
2. Promote clustering and higher density development where soils can support it.		●	●	●	●	●		
3. Discourage development of cul-de-sacs to improve neighborhood connectivity.			●		●	●		
4. Promote mixed-use development and redevelopment in the Hamlet of Mendon			●	●	●		●	
5. Continue to encourage appropriately-scaled higher density housing in the Hamlet of Mendon including townhomes and apartments			●	●	●		●	
6. Maintain older or historic housing in the Town.		●		●	●			

Government and Community Services Strategies' Alignment

Strategy	1. Preserve Rural	2. Natural / Historic	3. Manage Growth	4. Hamlet & Village	5. Quality of Life	6. Public Facilities	7. Fiscal Responsibility	8. Govt. Cooperation
1. Improve and expand the level of communications among Town boards and departments.					●	●	●	●
2. Maintain cost-effective and cost-efficient services in the Town.						●	●	
3. Continue to identify opportunities for consolidation of services, sharing of personnel and equipment, and cooperative purchases with other public entities.							●	●
4. Explore and implement partnership opportunities between the Town and School District to provide recreation and sports facilities.					●	●	●	●
5. Ensure Fire and EMS services have capacity to meet Town expectations for continuity of service today and with new development proposals.			●		●		●	
6. Periodically confirm the Town's Library is responsive to community needs, emerging technology and patron use trends.					●	●	●	
7. Establish government resiliency measures to address and adapt to natural disasters, public health emergencies and other emergencies to ensure continuity of government.					●		●	●



COMPREHENSIVE PLAN TOWN OF MENDON

Section IV: Implementation

SECTION IV: IMPLEMENTATION

The following tables take strategies noted in the comprehensive plan and describes the actions needed to get each started, responsible parties for undertaking the strategy and a targeted time-frame for accomplishing each.

Time frames have the following potential ranks following plan adoption:

- On-going:** This strategy will set into motion a continuous action.
- Immediate:** This strategy is foundational and should begin as soon as possible.
- Short-term:** This action should begin within a year (1 yr.)
- Mid-term:** This strategy should begin within one to three years (1-3 yrs.).
- Long-term:** This strategy should begin after three years or beyond (+3 yrs.).

COMPREHENSIVE PLAN TOWN OF MENDON

FUTURE LAND USE			
Strategy	Action Required	Responsible Party	Time-frame
1. Revise the Town Zoning Map and regulations in accordance with the Future Land Use Map.	Prepare updated zoning map and necessary regulatory language	Town Board with input from the Planning Board.	Short-term
2. Promote renewable and sustainable energy technology uses, and businesses involved with sustainable energy technology.	Retain local jurisdiction of reviewing solar projects that produce less than 25MW of electricity. Consider allowing solar farms with special use permit and site plan review within RA-1 zoning district.	Town Board with input from Planning Board	Ongoing
3. Promote solar-energy technology in small-scale development.	Continue to encourage solar panel installation on rooftops or parking areas of commercial and industrial nature.	Town Board and Planning Board	Ongoing
4. Maintain high standards of new development and redevelopment.	Require sidewalks, street trees and street lights in and around the Hamlet. Incorporate pedestrian and bicycle circulation between neighborhoods, businesses, parks and community facilities. Protect open space and scenic views.	Town Planning Board	Ongoing
5. Develop Design Guidelines for the Hamlet of Mendon	Engage the services of a design professional that specializes in Downtown Development to create basic guidelines	Town Board with assistance of Planning Board	Mid-term
6. Protect and maintain the rural character of Mendon	Review existing zoning regulations and update if necessary to continue low-density development and protection of agricultural uses	Town Board with input from Planning Board	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

<p>7. Maintain aesthetic quality of building development and redevelopment.</p>	<p>Require applicants for commercial site plans to submit architectural elevation renderings for consideration, review and approval as part of site plan review. Develop language for zoning code that would allow the Planning Board to consult with an independent architect or landscape architect for guidance at the applicant's expense.</p>	<p>Town Planning Board and Town Board</p>	<p>Ongoing</p>
<p>8. Maintain quality of dark night sky and illumination performance.</p>	<p>Continue to enforce regulations in the Town Code regarding dark night sky and illumination.</p>	<p>Code Enforcement</p>	<p>Ongoing</p>
<p>9. Encourage establishment of farmstands as a Special Use with Planning Board approval in areas where Ag lands are prevalent.</p>	<p>Revise zoning code to narrowly tailor farm stands involving produce grown in vicinity of stand. This would encompass hobby farming operations.</p>	<p>Town Board with input from Planning Board</p>	<p>Mid-term</p>

COMPREHENSIVE PLAN TOWN OF MENDON

GROWTH MANAGEMENT			
Strategy	Action Required	Responsible Party	Time-frame
1. Maintain rural character of Mendon's countryside.	Carefully consider where open-space is located within a proposed development, and how such open space might help preserve the impression of rural character.	Planning Board	Ongoing
	Create a water and sewer infrastructure plan before approving extension of those services through parts of the town. Include conservation measures intended to reduce the impact of development on new and existing infrastructure. Evaluate the need for alternative forms of infrastructure such as digesters or package plant or other means to produce net benefit versus net cost.	Town Board, Town Engineer	Short-term
2. Guide concentrations of development in and around the population centers of the Village and Hamlet.	Limit sanitary sewer infrastructure extensions into the Town, whether from the Village, Pittsford or Victor. Seek alternative wastewater treatment for Hamlet, such as a package plant; limit sanitary sewer service to areas immediately adjacent to Village when capacity becomes available	Town Board	Ongoing
3. Continue the use of cluster subdivisions as currently articulated in Section 226-8 of the Mendon Town Code.	Assure that subdivision applicants are submitting the two required sketches (conventional layout and cluster proposal) for comparison.	Town Planning Board	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

GROWTH MANAGEMENT			
Strategy	Action Required	Responsible Party	Time-frame
4. Support the transfer of development rights from properties the Town would like undeveloped or protected to properties where development at higher densities is acceptable.	Amend the Town's zoning code to allow for transfer of development rights; Identify sending and receiving areas.	Town Board with input from Planning Board	Short-term
5. Map existing conservation easements for reference during future subdivision review. This may encourage connectivity between existing and future easements.	Consult with Monroe County on filed subdivisions and conservation easements, and request assistance with obtaining and maintaining a catalog of GIS-based easements.	Town Board, Planning Board, Town staff	Mid-term
6. Incorporate open spaces and scenic vistas into the design of new development	Continue to require applicants to submit plan sheets showing existing site conditions, and an inventory of natural resources on and around project sites. The Planning Board should carefully evaluate existing conditions for establishing open space.	Town Planning Board	Ongoing
7. Coordinate the planning, regulation and design of access between roadways and land development.	Develop an access management plan and Official Map.	Town Board, town engineer, consultant	Mid-term
8. Minimize impact of residential development on agriculture.	Evaluate the impacts on agriculture associated with development of property within 500-feet of actively farmed land. Require vegetative buffers and increased building setbacks between new residences and adjacent farmland.	Town Planning Board	Ongoing
9. Guide development away from prime agricultural soils	Require cluster subdivisions layout for new residential development and cluster homes in an area away from prime soils. Institute a transfer of development rights program.	Town Planning Board, Town Board	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

GROWTH MANAGEMENT			
Strategy	Action Required	Responsible Party	Time-frame
10. Promote the continued viability of agriculture	Ensure agricultural zoning is maintained and promote grant applications by land trusts or Monroe County to purchase development rights or conservation easements of agricultural land.	Town Board, Monroe County and Land Trust	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

TRANSPORTATION AND INFRASTRUCTURE			
Strategy	Action Required	Responsible Party	Time-frame
1. Coordinate the planning, regulation and design of access between roadways and land development.	Develop an access management plan and Official Map to guide future roadway connectivity.	Town Board, Town Engineer, consultant	Mid-term
2. Improve walkability and create pedestrian connections within and into the Hamlet.	Seek funding for creating complete street concept, or pedestrian connectivity. Require future developers to integrate pedestrian connectivity into development proposals.	Town Board, Planning Board, Town Engineer	Ongoing
3. Improve on and off-street parking availability in the Hamlet.	Provide incentives for property owners to share off-street parking facilities wherever possible, to locate the majority of such facilities to the rear of structures, and provide limited and strategic quantities of on-street parking in the front or side of buildings.	Planning Board, Mendon Business Association, Town Engineer	Ongoing – mid-term
4. Encourage development of Complete Streets (car, bike, pedestrians) in appropriate areas.	Assure future development provides amenities that contribute to complete street features. Review roadways to assess opportunities for Complete Streets.	Planning Board, Town Engineer	Ongoing – mid-term
5. Enhance trail connectivity to the Village of Honeoye Falls.	Require future developers of land adjacent to Village to integrate pedestrian connectivity to Village infrastructure. Develop trail connection between Lehigh Valley Trail, Village and Hamlet.	Town Board, Planning Board, Town Engineer	Ongoing
6. Improve pedestrian safety and access school grounds.	Apply for grant funds to design and connect existing residential neighborhoods to school grounds.	Town Board, Town Engineer	Long-term
7. Assure new development does not have adverse effect on traffic and roadways.	Thoroughly review traffic patterns, traffic study, and existing roadway's ability to accommodate potential increase in traffic volumes. Require roadway and intersection improvements where necessary with new development.	Planning Board, Town Engineer	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

TRANSPORTATION AND INFRASTRUCTURE			
Strategy	Action Required	Responsible Party	Time-frame
8. Assure pedestrian safety within new developments.	Provide for pedestrian crossings in appropriate locations, safe sidewalks that connect to other pedestrian infrastructure.	Planning Board, Town Engineer	Ongoing
9. Develop or extend wastewater management to appropriate areas as an incentive for strategic area development.	Seek alternative wastewater treatment for Hamlet, such as a package plant; limit sanitary sewer service to areas immediately adjacent to Village when capacity becomes available.	Town Board, Town Engineer	Long-term
10. Extend public water service to areas that have documented public health concerns.	Extend water district and seek financing to lower the cost per dwelling.	Town Board, Town Engineer	Mid-term
11. Ensure fire protection is sufficient for exposures in new development.	As part of the review of development proposals, require sufficient fire protection facilities, including ponds, dry hydrant connections, home sprinkler systems, and adequate roads or driveways to allow access by emergency equipment.	Planning Board, Town Engineer	Ongoing
12. Support inspection and maintenance of existing and future stormwater management facilities.	Obtain funding to inventory the Town's stormwater infrastructure (including outfalls), roadside swales, receiving waterbodies and storm sewersheds.	Town Board, Town Engineer	Ongoing
13. Develop and maintain diversified transportation system for all users.	Create designated bicycle lanes on certain well-traveled roads.	Town Board, Highway Department, Town Engineer, Planning Board	Mid-term
14. Prepare regulations for the possibility of electric vehicles and other emerging transit fuels.	Draft regulatory content for the zoning regulations that would streamline the permitting process for electric charging stations.	Town Board	Mid-term

COMPREHENSIVE PLAN TOWN OF MENDON

TRANSPORTATION AND INFRASTRUCTURE			
Strategy	Action Required	Responsible Party	Time-frame
15. Continue to install streetscape improvements throughout the Hamlet center.	Install decorative lighting, street trees, signage and add sidewalks where feasible potentially using grant funds.	Town Board, Town Engineer	Mid-term
16. Obtain grant or low-interest financing to support infrastructure improvements.	Identify priority projects and strategize with the Town Engineer to develop grant or financing applications.	Town Board, Town Engineer	Mid – Long term

COMPREHENSIVE PLAN TOWN OF MENDON

ECONOMIC DEVELOPMENT			
Strategy	Action Required	Responsible Party	Time-frame
1. Promote agricultural economic development with wineries, breweries, and cideries.	Review regulations to ensure wineries, breweries, cideries and farm stands are allowed uses in residential-agricultural zones and other appropriate zones.	Town Board with Planning Board assistance.	Short-term
2. Prepare zoning regulations to deal with potential legalization of cannabis.	Obtain publications from NYS DOS and American Planning Association to guide development of management tools and update with assistance of Town Engineer or consultant.	Town Board, Town Engineer	Mid-term
3. Promote the continued economic viability of agriculture and agri-tourism.	Continue to encourage establishment of businesses that utilize locally produced farm products. Encourage farm tours to school groups, public.	Town Board, Planning Board	Ongoing
4. Promote acceptance of farming practices in the community.	Encourage active farmers to reach out to local school guidance office with opportunities for summer employment.	Town Board, Planning Board	Ongoing
5. Encourage non-farming agri-business.	Revise zoning to allow farmers to diversify business operations that might include adding value to farm products and supply chain marketing	Town Board with input from Planning Board	Mid-term
6. Encourage existing farmers to obtain help with succession plans.	Connect local farmers with the Cornell Small Farms Program and private attorneys.	Town Board, Planning Board	Ongoing
7. Expand markets to increase sales of local farm products.	Support additional purchases of local farm products by schools and institutions. Maintain registry of locally produced farm products and encourage purchases by local businesses and developers (e.g. straw for erosion control).	Potential Agricultural Advisory Committee, Town Board	Mid-term
8. Support the development of the Hamlet of Mendon including maintaining mixed use zoning, developing solutions for on-site and off-site parking, and following design guidelines.	Work with property owners and the business association to assist consultant to develop a parking plan, future development plan and associated design guidelines.	Town Board, Business Association, Consultant	Mid to Long-term

COMPREHENSIVE PLAN TOWN OF MENDON

<p>9. Develop and promote a mixed use Hamlet center.</p>	<p>Establish a detailed vision for the Hamlet core area and Hamlet transition area to aid in enhancement, redevelopment and preservation of the neighborhood. Update, or develop a new Hamlet Master Plan.</p>	<p>Town Board</p>	<p>Mid-term</p>
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COMPREHENSIVE PLAN TOWN OF MENDON

NATURAL, HISTORIC, and RECREATIONAL RESOURCES			
Strategy	Action Required	Responsible Party	Time-frame
1. Protect natural resources from inappropriate development	Continue to update and enforce the Town's EPOD regulations	Town Planning Board	Ongoing
	Train municipal staff in environmental stewardship, conservation and care for sensitive resources.	Town board, town staff	Ongoing, as needed
2. Protect capacity of natural watercourses from losses due to accumulation of debris.	Work with the NYS Department of Environmental Conservation and other public and private entities to clear debris from streams.	Town Board, Mendon Foundation, NYSDEC	Ongoing
3. Continue to protect historic resources	Continue to enforce the Town's EPOD regulations	Town Planning Board	Ongoing
4. Maintain and enhance the synergy between existing parklands, trails and population centers.	Establish route along or near former railbed as recommended in the 2009 GTC study, and pursue funding resources to connect Great Bend Park/Lehigh Valley Trail to the Village of Honeoye Falls and Hamlet.	Town Board, Village Board	Long-term
5. Preserve contiguous areas of protected land.	Identify critical areas to protect on EPOD maps using site plan review, grants to acquire land, and agricultural protection	Planning Board, Town Board and property owners	Ongoing
6. Protect area waterbodies from pollution	Enact the Town's Design Criteria and the State's Pollution Discharge regulations to reduce erosions and runoff.	Town Engineer	Ongoing
7. Obtain funding to assist with developing new parkland.	Continue to require reservation of parkland or payment into the Town's parkland fund for new development and complement with State Environmental Protection Fund grant resources.	Town Board, Planning Board and Grants Consultant	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

HOUSING AND NEIGHBORHOODS			
Strategy	Action Required	Responsible Party	Time-frame
1. Encourage a greater diversity of housing choices	Consider incentives for patio homes and empty-nester housing, including smaller lot sizes and greater density where sanitary sewer or wastewater service extensions may be available.	Town Board and Planning Board	Mid-term
2. Promote clustering and higher density development where soils can support it.	Implements future land use map by amending the zoning code to allow for higher density housing in close proximity to population centers and where it would be feasible to connect to sanitary sewer.	Town Board and Planning Board	Mid-term
3. Discourage development of cul-de-sacs to improve neighborhood connectivity.	Require development to adhere as best as possible to a future Official Map, an outcome of an access management plan. If dead-end roads are proposed, require a stub road be created to allow for future road connection.	Town Board and Planning Board	Ongoing
4. Promote mixed-use development and redevelopment in the Hamlet of Mendon	Permit residential uses on the upper floors of commercial buildings and update zoning to encourage building development or redevelopment with a mix of uses instead of single uses.	Town Board with Planning Board assistance	Mid-term
5. Continue to encourage appropriately scaled higher density housing in the Hamlet of Mendon.	Review PUD and other regulations to encourage smaller lot sizes, increased coverage, and decreased setbacks.	Town Board with Planning Board Assistance.	Mid-term
6. Maintain older or historic housing in the Town.	Consider applying for funding to fix up residential units and implement the grant.	Town Board	Mid-term

COMPREHENSIVE PLAN TOWN OF MENDON

GOVERNMENT AND COMMUNITY SERVICES			
Strategy	Action Required	Responsible Party	Time-frame
1. Improve and expand the level of communications among Town boards and departments.	Provide minutes of relevant board meetings to associated boards, encourage an annual meeting of the boards for updates, and provide periodic updates with an e-mail blast to all involved parties	Town Board, Supervisor and Town Clerk	Ongoing
2. Maintain cost-effective and cost-efficient services in the Town.	Continue to monitor effectiveness of services and periodically survey residents regarding service performance.	Town Board and Town Supervisor.	Ongoing
3. Continue to identify opportunities for consolidation of services, sharing of personnel and equipment, and cooperative purchases with other public entities.	Continue communications with Town and sharing of needs between Town and Village. Apply for Local Government Efficiency grants to assist where needed for evaluation of efficiencies and benchmarking initially, and subsequent implementation.	Town Board, Town Supervisor, Village Board, Village Mayor	Ongoing
4. Explore and implement partnership opportunities between the Town and School District to provide recreation and sports facilities.	Continue communications with School District and sharing of needs between Town and Village. Apply for Local Government Efficiency grants to assist where needed	Town Board, Town Supervisor, School Superintendent	Ongoing
5. Ensure Fire and EMS services have capacity to meet Town expectations for continuity of service today and with new development proposals.	Potentially involve the Fire and EMS services in departmental reviews of major development proposals. Encourage a study for a townwide fire district and townwide ambulance district.	Town Board with Fire and EMS service providers.	Ongoing.
6. Periodically confirm the Town's Library is responsive to community needs, emerging technology and patron use trends.	Review and assess the Town's Library's responsiveness to community needs to identify potential changes that potentially could be supported by grant funds and the Town budget. Include library evaluation as part of Local Government Efficiency evaluations.	Town Board and Library Board	Ongoing

COMPREHENSIVE PLAN TOWN OF MENDON

<p>7. Establish government resiliency measures to address and adapt to natural disasters, public health emergencies and other emergencies to ensure continuity of government.</p>	<p>Prepare a resiliency plan to provide strategies for town communications, meetings and operations to continue during emergencies.</p>	<p>Town Board</p>	<p>Short-term</p>
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**COMPREHENSIVE PLAN
TOWN OF MENDON**

Section V: Priority Initiatives

SECTION V: PRIORITY INITIATIVES

This plan includes 65 strategies to realize the vision and guiding principles for the future development of the Town of Mendon. However, some of the strategies are a priority based on the level of discussions by the Advisory Committee accompanied by an equal or greater level of support from the public. Moreover, most of the priority initiatives that follow address multiple Comprehensive Plan guiding principles.

The priority initiative section will therefore provide background on each initiative and discuss how the Town of Mendon and its partners can follow through on implementing each strategy.

1. PROMOTE COMPATIBLE RENEWABLE ENERGY

Renewable energy is no longer a fad or secondary use in Upstate New York. It has become a land use on its own and it will continue to grow as a land use in the near future. While windfarms are typically utility scale and governed by New York State’s Article 10 laws that limit local involvement, smaller Solar Farms (photovoltaic systems or PV systems) continue to be proposed throughout the Finger Lakes region as a result of state incentives. According to an article in the American Planning Association’s March 2020 *Planning Magazine* issue the growth of solar nationwide will be significant in the next 30 years:

By 2050, large-scale PV deployment is projected to increase to roughly eight times the current installed capacity, according to mid-case standard scenario modeling by the National Renewable Energy Laboratory (NREL). That translates into solar development on approximately 2.6 million additional acres of land – more than three times the size of Rhode Island.

Solar farms offer clean energy, don’t have any noxious fumes, and they provide farmers and other landowners with income from underutilized, vacant or otherwise unusable property. However, solar farms need to be developed in a responsible manner to ensure they are compatible with surrounding land uses and the Town’s rural character.

Fortunately, the Town regulates solar development in most zones through a Special Use Permit and associated Site Plan Review. The laws provide limits

INITIATIVE: PROMOTE RENEWABLE ENERGY

STRATEGY: Land Use Strategy #2 - Promote renewable and sustainable energy technology uses, and businesses involved with sustainable energy technology.

TIMELINE: Immediate and Ongoing

RESPONSIBILITY: Town Board with input from the Planning Board

TOOLS AND FUNDING:

- NYSERDA Model Solar Ordinance;
- NY Ag & Markets Guidelines for Solar Energy Projects - Construction Mitigation for Agricultural Lands;
- New York Clean Energy Communities funding
- New York Climate Smart Communities funding

COMPREHENSIVE PLAN TOWN OF MENDON

on maximum acreage, setbacks, and height. Impacts on environmentally sensitive areas and requirements for protecting viewsheds are also part of the laws.

Since the Town passed the Special Use Permit ordinance for solar farms, the New York State Energy Research and Development Authority (NYSERDA) has developed a model solar law for communities. The New York State Department of Agriculture has also developed a companion guide for solar on agricultural land. Some of the items the Town should consider in an update to their law, based on the model laws, include:

- **Restrictions on Placing Solar on Prime Farmland:** Development of solar arrays on land that has soils of statewide importance or Prime Farmland should be prohibited. Prime Farmland is the most productive land for agriculture and should be preserved.
- **Require Solar Developers to install solar panels with anti-glare technology:** While solar panels have minimal environmental impacts, one negative impact for adjoining neighbors can be glare coming off the panels. Current solar panels can utilize non-reflective solar glass and therefore it should be a requirement of the Town's solar law.
- **Avoid or control topsoil stripping:** Solar developers often strip topsoil for installation of the panels. While this may be necessary for initial construction the developers should be required to store the soil during construction on the site and then put it back post construction.
- **Require appropriate drainage for solar farm roadways:** While the simplest solution is to build roads at the same level of the farm, sometimes that is not possible so a drainage plan is needed to avoid erosion and flooding impacts to soil and crops.
- **Control placement of transmission lines:** Require wires to preferably be placed underground on the edges of property so as to not interfere with farming. Also ensure buried utilities are at least 4 ft. below surface.
- **Require submission of a decommissioning plan:** While Mendon's solar law requires bonding it should complement that with a requirement to submit a formal, but reasonable, decommissioning plan for removal of panels in the future.

2. MAINTAIN MENDON'S RURAL CHARACTER

Maintaining Mendon's rural character was the highest priority of the Comprehensive Plan Advisory Committee as well as the public. In short, it is one of the primary reasons residents choose to live in Mendon and also contributes to the Town's fiscal stability.

The Town of Mendon Zoning Ordinance, other development regulations and policies currently support preservation and enhancement of Mendon's rural character including:

- **Environmental Protection Overlay Districts (EPODS);** EPODS in Mendon protect critical environmental , natural and historic resources in the community including, but not limited to, steep slopes, scenic vistas, wetlands, historic properties, woodlots, and soil protection.
- **Site Plan Review and Special Use Permits:** The laws ensure protection of the rural character by requiring review of projects and their impacts on the character of the community, effects on adjacent neighbors, and impacts on natural resources.
- **Limiting Residential Density:** The Town primarily employs large-lot zoning to limit density and to maintain green space and natural areas. Cluster zoning, permitted by the Town Code, also encourages slightly higher density development in exchange for preservation of open spaces and natural resources.
- **Promoting Development in and near the Village of Honeoye Falls and the Hamlet of Mendon**
- **Right to Farm Laws:** Farmers are encouraged to continue farming in the

INITIATIVE: MAINTAIN MENDON'S RURAL CHARACTER

STRATEGIES: Land Use Strategy #6 - Protect and maintain Mendon's rural character.

TIMELINE: Immediate and Ongoing

RESPONSIBILITY: Town Board with input from the Planning Board

TOOLS AND FUNDING:

- NYS Division of Local Government Services publication *Transfer of Development Rights*
- U.S. EPA publication *Essential Smart Growth Fixes for Rural Planning, Zoning, and Development Codes*
- New York Climate Smart Communities funding to update zoning.

COMPREHENSIVE PLAN TOWN OF MENDON

community without the risk of existing or future neighbors complaining or interfering with agricultural operations.

Some additional steps the Town could consider to protect the Town's rural character include:

- **Requiring Fiscal Impact Analysis for New Development:** The Town, based on information provided by a developer, could compare each development's future tax revenues in relation to the cost of Town services provided for the development.
- **Restricting Planned Unit Development to Designated Development Areas:** This will limit the sprawl of development via the PUD regulations throughout rural areas.
- **Utilize Wastewater Practices that Align with Goals of the Comprehensive Plan:** This is a policy that the Comprehensive Plan committee was adamant about regarding limiting wastewater to decentralized septic systems in the Hamlet center instead of connecting to a central wastewater plant.
- **Transfer of Development Rights (TDR):** A transfer of development rights program would promote open space and farm protection. According the New York State Department of State guidance on the program:

TDR permits all or part of the density potential (established in the local zoning law or ordinance) of one tract of land to be transferred to a noncontiguous parcel or even to land owned by someone else. The development rights become a separate article of property, which can be sold to a landowner whose property is better suited to greater densities. After selling the development rights, a landowner still retains title and all other rights to his land. These other rights permit farming, forestry, some recreational uses, and other non-intensive uses.

3. REVITALIZE THE HAMLET OF MENDON

The Hamlet of Mendon is a compact and historic mixed-use center. There is a unique opportunity for the Town, in cooperation with private property owners, to enhance and uncover its inherent sense of place.

But revealing the hidden opportunity is both a physical and economic challenge for many reasons:

- Roads are narrow which limits opportunities for on-street parking common in many downtown areas;
- The Irondequoit Creek corridor, which otherwise is an asset, limits the amount and type of development that is feasible;
- The presence of overhead utilities;
- Lack of wastewater solutions to facilitate development; and
- Recent incompatible development such as gas stations and insensitive alterations to historic commercial buildings.

A Hamlet Master Plan was completed in 1996 but over the last 24 years its overall vision has not been realized.

Therefore a new vision and pro-active approach should be considered. The approach would involve separate tracks of actions that would be implemented individually but within the framework of a comprehensive revitalization strategy:

- **Public streetscape and on-street parking improvements (see Figure on page 41):** The “limits” of the historic hamlet’s walkable neighborhood is approximately 500 feet from the center of the intersection of state routes 251 and 64. Within this area streetscape improvements should be concentrated

INITIATIVE: REVITALIZE THE HAMLET OF MENDON

STRATEGIES: Land Use Strategy 5 - Develop Design Guidelines for the Hamlet of Mendon; Growth Management Strategy 3 - Guide concentrations of development in and around the population centers of the Village and Hamlet; Economic Development Strategy #8 - Support the development of the Hamlet of Mendon including maintaining mixed use zoning, developing solutions for on-site and off-site parking, and following design guidelines for improvements and new development; Economic Development Strategy #9 - Develop and promote a mixed use Hamlet center; Housing Strategies #4 & 5: Promote mixed-use development and redevelopment within the Hamlet of Mendon; & Continue to encourage appropriately-scaled higher density housing in the Hamlet of Mendon including townhomes and apartments

TIMELINE: Mid to long-term

RESPONSIBILITY: Town Board and Hamlet property owners

TOOLS AND FUNDING:

- Planning Funding: Empire State Development Corporation (ESDC) Strategic Planning Funding
- New York Main Street Program
 - Technical Assistance for building design strategies
 - Construction Funding for building rehabilitation
- Transportation Alternatives Program for Infrastructure Improvements

COMPREHENSIVE PLAN TOWN OF MENDON

including additional historic streetlights, trees, high quality decorative sidewalk treatments, decorative guardrails, pruning near the creek, and enhanced crosswalks. Installation of sidewalks across the gas station entrances is also encouraged.

Making the area more pedestrian friendly with streetscape improvements will provide economic and community development benefits:

- Improved pedestrian access to businesses and properties will encourage more investment in those properties;
- Walkability promotes placemaking which is a critical component in attracting business investment and attracting tourists;
- Placemaking and walkability is an important amenity for many younger couples and seniors; and
- Many employers are locating near attractive places as it improves recruiting talented workers who seek out quality places to live and work.

The best area to formalize additional on-street parking is on the east side of State Route 64 from Route 251 north to the Lehigh Valley trail. Drivers are already parking there informally but permanent parking spaces would be an amenity for hamlet businesses.

- Install additional bicycle and pedestrian connections to neighborhoods and the Lehigh Valley Trail.
- **Private building improvements leveraged with grant funding:** There are multiple commercial and mixed-use buildings in the hamlet center that could benefit from building improvements incorporating historically sensitive restorations. Building renovation grant funding is available through the New York Main Street program which provides up to 75% of project costs. Design standards would need to be established and adopted prior to the initiation of a building improvement program.
- **Public/private partnership for off-street parking:** Previous ideas for resolving parking issues in the hamlet centered around private owners working together to provide shared parking. While this idea is conceptually sound, it is not practical. One concept the Town could consider is purchasing properties that have land for parking, subdividing the parking from the buildings, and selling the buildings. Funding could come from a combination of town funds and grant funding.
- **Wastewater solutions** (see section below).

COMPREHENSIVE PLAN TOWN OF MENDON

Individually and collectively, these actions will incrementally begin to transform the Hamlet over time to attract businesses and residents.



The roads and areas around the Hamlet of Mendon should be the focus of future pedestrian and bicycle improvements

4. PROMOTE HOUSING DIVERSITY

The demographic profile of Mendon's population has changed over the last two decades and will continue to change over the next two decades. Specifically, the population is getting older (median age increased from 39.8 years of age to 45.8 years of age between 2000 and 2017) and household sizes are shrinking (average household size decreased from 2.7 persons/household to 2.4 person/household from 2000 to 2017).

As a result, there will be a greater demand and need for a variety of housing types in the Town of Mendon. Otherwise the Town could lose current residents and could fail to attract new ones.

Generally as households age and shrink there will be a greater demand for smaller lots (for reduced maintenance), accessible structures, and smaller residences. While some of this demand could be satisfied in the Village and Hamlet Center, the cost of remodeling an existing home for accessibility could be prohibitive and some homeowners also prefer newer home styles.

To encourage greater diversity of homes and potentially smaller lot sizes the Town could take the following steps:

- Permit and encourage more cluster development and planned unit development proposals which would allow for smaller lot sizes.
- Encouraging more mixed-use development in the Hamlet and Village including accessible apartments.
- Apply for funding to assist homeowners with retrofitting older housing units for accessibility.

Also, while households are getting older, many older residents are still active. Amenities such as sidewalks, trail connections and open space should therefore be integrated into new developments.

INITIATIVE: PROMOTE HOUSING DIVERSITY

STRATEGY: Housing Strategy #1 - Encourage a greater diversity of housing choices including patio homes and empty-nester housing.

TIMELINE: Mid-term

RESPONSIBILITY: Town Board and Planning Board

5. DEVELOP WASTEWATER SOLUTIONS FOR THE HAMLET OF MENDON

In 2005 the Town of Mendon engaged MRB Associates to prepare a preliminary engineering report and analysis to develop a sanitary sewer system for the Hamlet of Mendon because a number of individual septic systems were failing. The system would be connected to Town of Victor’s sanitary system and eventually treated at the Town of Farmington wastewater treatment plant.

The conclusion of the report was that even with 0% financing the average annual cost per homeowner would exceed the threshold allowed by the State of New York. However, the analysis did not evaluate the impact of grant funds on the project costs. Nor did the study evaluate other wastewater treatment solutions.

Since the study is now 15 years old, a new analysis of wastewater solutions for the Hamlet Center is warranted. However, the analysis should be limited to decentralized wastewater systems such as cluster septic systems, package plants, and other similar systems. The consensus of the Comprehensive Plan Advisory Committee was that a sanitary sewer system would promote growth that isn’t consistent with the vision and guiding principles of this plan regarding maintaining the Town’s rural character.

Developing a new decentralized system has it challenges in the Hamlet as the undeveloped or underutilized properties that could be used for a leach field have soils that aren’t compatible, and nearby lots that do have appropriate soils are developed. However, there are potential solutions that can be evaluated such as mound systems and drip dispersion systems that have worked in areas with impermeable soils. Similarly grant funding to implement the project should be evaluated to reduce costs for property owners.

A wastewater solution in the Hamlet, in concert with the Hamlet streetscape, building renovation and parking strategies suggested earlier, will help to propel the Hamlet’s revitalization.

INITIATIVE: DEVELOP WASTEWATER SOLUTIONS FOR THE HAMLET OF MENDON

STRATEGY: Transportation and Infrastructure Strategy #9 - Develop or extend wastewater systems to appropriate areas as an incentive for strategic area development.

TIMELINE: Mid to long-term

RESPONSIBILITY: Town Board

TOOLS & FUNDING:

- Empire State Development Corporation Strategic Planning Grant funding
- NYS Climate Smart communities Resiliency funding
- NYS Water Quality Improvement Program funding

Appendix A

SWOT Analysis

MENDON COMPREHENSIVE PLAN SWOT ANALYSIS

Location: Mendon Town Hall, 16 West Main Street, Honeoye Falls
Date: January 15, 2019
Time: 6:00 PM

STRENGTHS

- School district/ quality of education (HFL and Pittsford-Mendon)
- Recreational opportunities - Mendon Ponds Park/ hiking trails
- Rural character - not overgrown
- Farms/ agrarian culture
- Business - strong commercial base within the village and hamlet
- Vibrant hamlet
- Home occupations
- Library
- Growth management/ smart growth
- Fiscal responsibility within town
- Strong sense of community
- Strong citizenship and volunteerism
- Strong intergovernmental relationships
- Forward-thinking leadership: needs to be continued and nurtured
- Highway Department and road infrastructure
- First responder infrastructure
- Renewed health and Irondequoit Creek
- Natural resources
- Property value retention
- Location
- Bicycle friendly community, multiple bike routes

WEAKNESSES

- Rural character doesn't lend itself to extend infrastructure (cost/benefit imbalance)
- Housing affordability; Environmental conditions (soils/bedrock) limit opportunities for more dense residential neighborhoods.
- Lack of sewer infrastructure within hamlet of Mendon
- Lack of patio homes (smaller housing) for empty nesters
- Lack of incentive zoning
- Size
- Wealth and income
- Parking in hamlet
- Sidewalks
- Not a unified look within hamlet
- Aging out in farming community. Younger generation isn't likely to follow in footsteps
- Bedroom community - not a destination
- Lack of cultural diversity

OPPORTUNITIES

- Co-Municipal work (health/ safety/ welfare)
 - Identify other opportunities within community services
- Potential development opportunities within the village; how and where could the town coordinate with potential infrastructure
- Farming and agriculture
 - Wine applications
 - Local sourcing - hops
- Funding to upgrade septic systems
- Honeoye Creek - DEC classification - revisit upstream and downstream classifications
 - From outlet to Honeoye Lake
 - Stream quality
- Incentive zoning - strategize future location for incentive zoning projects
- Potentially redefine PUD to accommodate more residential - (taken out during recent recodification)
- Cluster development
 - Shared open space
- Strengthen and preserve farmland and agrarian culture (Farmers Market, Brighton model)
- Public education - for preservation of farms and agriculture
- Strengthen village and hamlet as business centers
 - Proximity to “Eastview” area
- Look at opportunities for different sized businesses

THREATS

- Commercial solar application are increasing
- Fracking
- Loss of farmland
- Social media sometimes conveys inaccurate information
- Deer population
- Lack of affordable housing results in aging community; younger generation has a difficult time affording existing housing stock
- Water quality - preservation
- Not keeping up with what is happening out in community
- Apathy among residents
 - Combining Village Planning Board and ZBA due to lack of volunteers to fill vacancies
- Taxes
- Road/ shoulders - some roads don't offer space for bicyclists
- Change in technology

Appendix B

Public Participation Results

TOWN OF MENDON

COMPREHENSIVE PLAN UPDATE

Results from the March 19th 2019 Public Meeting Initial Goals & Strategies Interactive Exercise

Goals & Strategies	Votes	Comment
Future Land Use		
Renewable Energy/ Solar Farms Protection/ Wind	29	Nuclear Power. Modern Wind Turbine for lots greater than 5 acres. Solar panels on every roof, geothermal for new construction.
Promote Agricultural Protection – Uses/ Right to Farm/ Economic Development	25	Minimize regulations, maximize property owners' rights.
Promote Smart Growth	11	
Revise Cluster Zoning Provisions for shared open space	2	
Introduce Incentive Zoning	0	
Promote Agricultural Protection – Density	0	
Innovate PUD zoning and clustering to accommodate diversified housing	0	
Growth Management		
Maintain rural character – Limit infrastructure extensions (esp. sewer) to appropriate locations	50	
Encourage agricultural protection – Of farm stands, on-site sales & other economic development needs	9	
Maintain rural character – Protect Natural Resources	7	Dark Sky Lighting
Encourage agricultural protection – Educate public on agricultural protection	6	
Encourage agricultural protection – Of prime and valuable soils	3	
Encourage agricultural protection – Of agricultural uses allowed	3	
Maintain rural character – Encourage cluster zoning	3	Cluster zoning but no extra houses-- so if only 50 houses allowed, then 50 approved with open space saved.

Goals & Strategies	Votes	Comment
Transportation and Infrastructure		
Discuss solutions regarding wastewater (sewer/ septic)	19	
Improve Walkability in Hamlet or Town Center Districts	17	
Encourage development of Complete Streets (car, bike, pedestrian) in appropriate areas	3	
Interconnectivity between schools and neighborhoods	1	Safe driving alternatives such as trolley, self-driving, electric car charging stations. Develop trails connection from Honeoye Falls to Lehigh Valley trail.
Permit on-street parking in Hamlet and Town Center Districts	0	
Develop or extend sewer to appropriate areas as incentive for strategic area development	0	
Miscellaneous comments		Reliable internet access. Should set standards for drone usage and addresses privacy and nuisance concerns.
Economic Development		
Promote agricultural economic development with wineries/ breweries/ cideries	8	
Attract a variety of businesses–sizes and types	6	Keep focus on small business. Outdoor skating rink, outdoor shooting range, dirt bike riding center, public market.
Prepare zoning to deal with potential legalization of cannabis	5	How/why is Cannabis treated differently than alcohol/tobacco? Legal Cannabis in every garden if that's what they want.
Develop a mixed use Hamlet Center	3	Should Hamlet have its own Comprehensive Plan?
Incentivize development in appropriate locations with infrastructure	1	
Natural, Historic, and Recreational Resources		
Continue to protect natural resources from inappropriate development	45	Pretty please!
Continue to protect Historic Resources	11	

Goals & Strategies	Votes	Comment
Housing and Neighborhoods		
Consider incentives for patio homes and empty-nester housing	15	
Encourage a greater diversity of housing choices	8	Allow people to turn big houses into apartments for affordable housing. Senior citizen, low-income, and assisted living housing.
Promote clustering and higher density development in appropriate locations	4	Incentivize low energy construction/development (i.e. Passive House, LEED Platinum).
Natural, Historic, and Recreational Resources		
Library	14	
Improve and expand level of communications	5	
Summer recreation	4	Youth services
Two fire districts (Village and Mendon)	0	Viability of emergency services: cost, accessibility, dependability of services (fire, EMS, law enforcement).



Appendix C

Sample Design Standards



VILLAGE OF WILLIAMSVILLE

**NEIGHBORHOOD MIXED USE DISTRICT
DESIGN STANDARDS**

§ 112-17



**ADOPTED MAY 26, 2015
REVISED OCTOBER 26, 2015**

§ 112-17

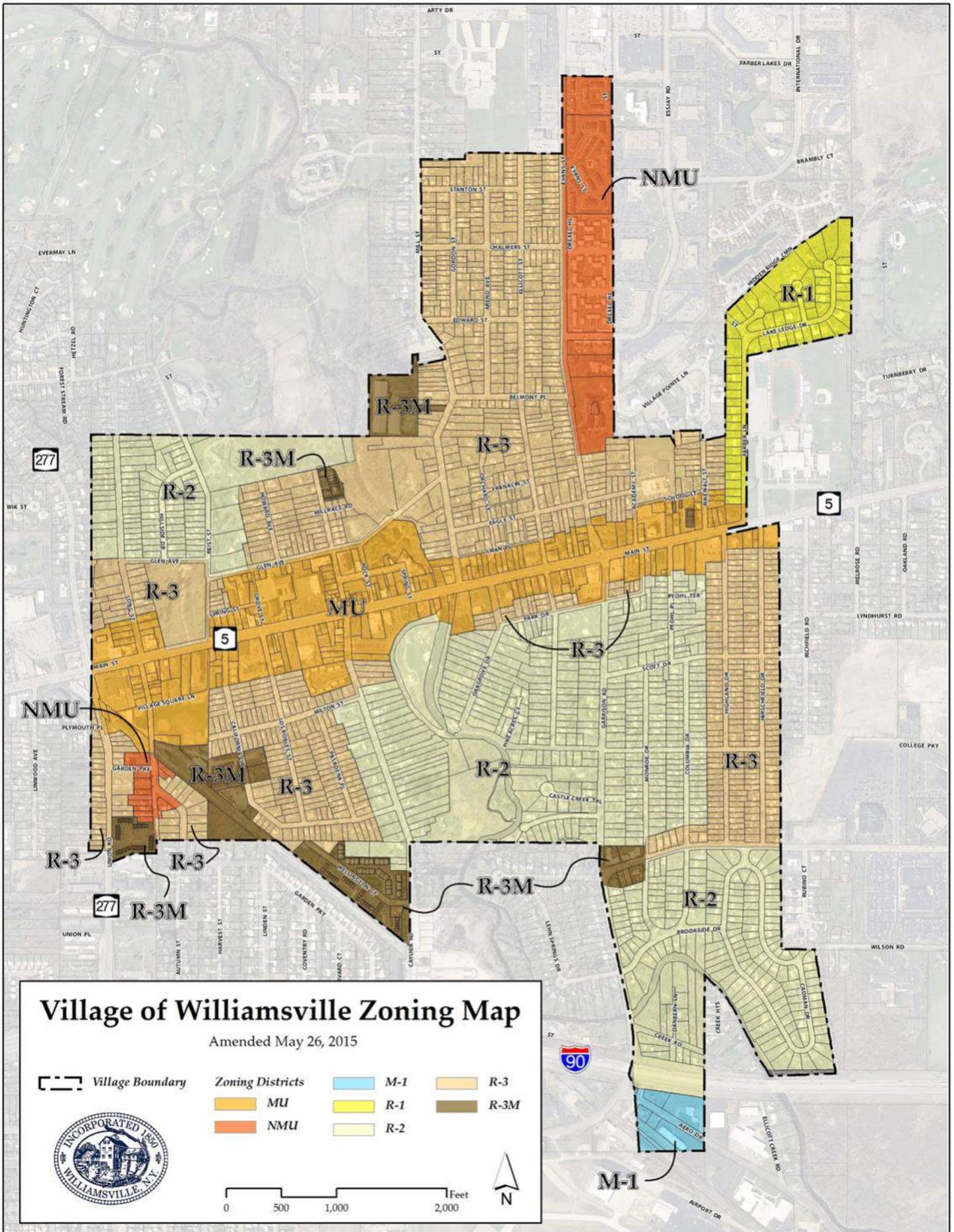
NEIGHBORHOOD MIXED USE DISTRICT DESIGN STANDARDS

TABLE OF CONTENTS

NEIGHBORHOOD MIXED-USE DISTRICT ZONING MAP.....	iii
112-17A ~ INTRODUCTION.....	1
(1) ~ Purpose of the Mixed Use Design Standards	1
(2) ~ Mixed Use Zoning District Established.....	2
(3) ~ Conflicts and Compliance with Other Regulations	2
(4) ~ Applicability, Review, Approval and Permit Process	2
(5) ~ Design Objectives.....	3
(6) ~ List of Permitted Uses	4
(7) ~ Summary of Building and Area Requirements.....	5
112-17B ~ SITE PLANNING and DESIGN	7
(1) ~ Overview	7
(2) ~ Building Orientation and Setback.....	8
(3) ~ Lots with Multiple Buildings.....	9
(4) ~ Building Entry	10
(5) ~ Sidewalks	11
(6) ~ Pedestrian and Vehicular Circulation	11
(8) ~ Driveways and Shared Access.....	12
112-17C ~ SITE INFRASTRUCTURE and FACILITIES	13
(1) ~ Overview	13
(2) ~ Loading, Service, Maintenance and Refuse Facilities	14
(3) ~ Storm Water and Green Infrastructure Facilities	15
(4) ~ Utilities.....	16
112-17D ~ PARKING.....	17
(1) ~ Overview	17
(2) ~ Parking	18
112-17E ~ LANDSCAPING.....	20
(1) ~ Overview	20
(2) ~ Site Landscaping	21
(4) ~ Foundation Landscape Treatments	22
(5) ~ Buffers and Screens.....	22

TABLE OF CONTENTS, CONTINUED

112-17F ~ ARCHITECTURAL CONSISTENCY	23
(1) ~ Overview	23
(2) ~ Building Form and Massing	24
(3) ~ Commercial Building Character	26
(4) ~ Residential Building Character.....	28
112-17G ~ ARCHITECTURAL DETAILS.....	29
(1) ~ Overview	29
(2) ~ Building Base and Foundations	30
(3) ~ Windows.....	31
(4) ~ Roofs, Cornices, Eaves, Overhangs and Parapets.....	32
(5) ~ Building Doors and Entries	34
(6) ~ Building Materials	35
112-17H ~ SIGNAGE	37
(1) ~ Overview	37
(2) ~ Signage Gallery	38
112-17I ~ LIGHTING	39
(1) ~ Overview	39
(2) ~ Site Lighting	40
(3) ~ Building Lighting	40
(4) ~ Accent Lighting	40
(5) ~ Lighting Gallery	41
112-17J ~ SEASONAL OUTDOOR SEATING	42



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§ 112-17A

INTRODUCTION

§ 112-17A(1) PURPOSE OF THE NEIGHBORHOOD MIXED USE DISTRICT

THE VILLAGE OF WILLIAMSVILLE'S 2010 COMMUNITY PLAN, as amended in 2015, recognizes the community's desire to maintain its historic character, provide for enhanced walkability, and support a vibrant economic and neighborhood environment. The traditional community character presented within the Village is of paramount importance to the provision of these elements. The Neighborhood Mixed-Use (NMU) land use classification roughly corresponds to the Village's former Restricted Commercial (C-2) zoning district along South Long Street and the properties east of Evans Street generally north of Eagle Street. A key component of this land use classification conveys the important role that well-designed, publicly accessible open spaces play in creating and organizing high quality higher density residential neighborhoods. Such spaces, be they a park or simply a well-designed Village street that invites the public to stroll its length, can ensure that higher density housing is sensitively knitted to the larger fabric of the Village. The NMU is intended to be a true mixed-use district, authorizing a combination of residential, commercial, office and institutional uses in appropriately designed and scaled buildings. As shown in the Conceptual Land Use Plan, the largest area of NMU classified lands are concentrate in the southwest and northeast portions of the Village.

The Design Objectives described in §112-17A(5) provides the desired state for the NMU classification and relates directly to those elements discussed in the 2010 Community Plan, as amended.

Key characteristics of this area include multi-story buildings, a consistent building edge, inviting ground floor facades, and a mix of uses and architectural styles handed down to the Village through history. Another key characteristic is the area's close proximity to established, residential neighborhoods. The NMU areas of the Village contain a mix of spaces and uses, meant to evolve over time, at their own pace building-by-building, in response to changing lifestyles and needs. Areas of the Village classified as NMU consist of both existing higher density residential areas and areas that have been identified as appropriate for residential and context-sensitive commercial development in the future. Design guidelines and zoning should be in place to ensure that the form these new businesses take strengthens the charm and unique character of the Village.

§ 112-17A(2)

NEIGHBORHOOD MIXED USE ZONING DISTRICT ESTABLISHED

THE VILLAGE OF WILLIAMSVILLE NEIGHBORHOOD MIXED USE (NMU) ZONING DISTRICT is hereby established as depicted on the Village's zoning map (see attached map on Page iii). The regulations described herein establish the desired development pattern, form, massing, density, site layout and architectural detailing for the NMU District. Given the varied context of the surrounding neighborhoods, there is a need for clear standards that meet the goals and objectives of the community while allowing for flexibility and creativity. These regulations provide the necessary framework for high-quality development and flexible design alternatives.

§ 112-17A(3)

CONFLICTS AND COMPLIANCE WITH OTHER REGULATIONS

ALL DEVELOPMENT MUST CONTINUE TO MAINTAIN compliance with all applicable codes and regulations, including, but not limited to, the Building Code of New York State which shall supersede where conflicts exist with the NMU District. These regulations shall supersede where conflicts exist with the remaining chapters of the Code of the Village of Williamsville .

§ 112-17A(4)

APPLICABILITY, REVIEW, APPROVAL AND PERMIT PROCESS

THE NMU DISTRICT REGULATIONS SHALL APPLY, IN WHOLE OR IN RELEVANT PART, to all applications commenced from the date of adoption of this section by the Village of Williamsville Board of Trustees.

(a) These regulations shall apply to all proposed actions within the NMU District which include one or more of the following activities:

- [1] New building construction;
- [2] Installation of new curb cuts on any public street;
- [3] An increase of the gross building square footage of the lesser of 30 percent or 500 square feet;
- [4] A change or addition of façade materials and/or design greater than 200 square feet (only §112-17F and §112-17G shall be applicable);
- [5] Installation of new signage (only §112-17H shall be applicable);
- [6] Any expansion, substantial modification or substantial reconstruction of parking lot or driveway footprint (only §112-17D shall be applicable);
- [7] Changes to parking, loading and service arrangements or access management such as entry/exit, cross access, or circulation (only §112-17B and §112-17D shall be applicable);
- [8] Installation of landscaping features (only §112-17E shall be applicable);
- [9] Installation of above-grade utilities (only §112-17C(4) shall be applicable); and

(b) Existing single-family & two-family structures within the NMU District are not required to adhere to these Design Standards.

(c) Operation of a home occupation within the NMU district (see §112-17A(6)) shall conform to § 112-11A(2)(b).

(d) The review and approval of applications under these Design Standards shall conform to § 112-23.

§ 112-17A(5)
DESIGN OBJECTIVES

THE DESIGN OBJECTIVES PRESENTED BELOW WERE derived from the Village’s Community Plan, and are included to assist with the interpretation and administration of the regulations described in § 112-17 (B) through (I).

- (a) Culs-de-sac are prohibited where connections between streets can be made, except where such connections cannot be reasonably made or do not serve the overall public good of the Village. The public good served by connecting streets includes, but is not limited to: 1) The safety and convenience conferred on pedestrians and drivers by providing more connectivity and options for movement through the Village; and 2) by building on the established character of the Village, which derives in large part from an interconnected street grid.
- (b) Housing should be provided in concert with well defined, functional public spaces. Such spaces can vary in size and function from a park to a street, but should clearly address the public realm.
- (c) New development should be sensitively integrated into the fabric of the existing Village, rather than consisting of isolated and self contained pods surrounded by surface parking.
- (d) Parking facilities associated with higher density housing should be provided and hidden behind or under buildings, and adjacent public streets should be available for on-street parking.
- (e) Transitions from existing lower density housing to higher density housing should be gradual.
- (f) Structures fronting along public streets should include “public” components that actively address the street and public realm such as porches.
- (g) Traditional parking and circulation techniques, such as alleyways, should be encouraged, to enable parking to be provided in the rear of residential structures.
- (h) New streets laid out in connection with higher density housing should blend with the character and scale of existing Village streets.
- (i) All new overhead utilities should be buried. When opportunities present themselves, existing overhead utilities should also be buried.
- (j) Setback of structures should be consistent from lot to lot, and maximum permitted setbacks should be employed to ensure that buildings respect and strengthen the streetwall. However, greater setbacks may be entertained in order to widen inadequate sidewalks and provide a larger pedestrian realm.
- (k) The circulation network should strike a balance between pedestrian and automobile needs, and tip the scale strongly in favor of pedestrians.

§ 112-17A(6)
LIST OF PERMITTED USES

THE FOLLOWING IS A LISTING OF PERMITTED USES FOR THE NEIGHBORHOOD MIXED USE (NMU) DISTRICT IN THE VILLAGE OF WILLIAMSVILLE.

(a) Permitted Uses.

- [1] Artist Studio
- [2] Bar, Tavern, or Pub
- [3] Bed and Breakfast
- [4] Building, Accessory; including residential garages*
- [5] Building, Mixed-Use
- [6] Building, Office
- [7] Building, Public
- [8] Cultural Use Facility or Museum
- [9] Daycare Center
- [10] Dwelling, Single-Family
- [11] Dwelling, Two-Family
- [12] Dwelling Unit, Accessory*
- [13] Dwelling, Multi-Family
- [14] Townhouse or Townhome

Permitted Uses, Continued.

- [17] Hotel or Motel
- [18] Inn
- [19] Parking Garage
- [20] Place of Worship
- [21] Recreation, Indoor Commercial
- [22] Restaurant
- [23] Retail
- [24] School

(b) Uses Requiring a Special Use Permit.

- [1] Club, Membership
- [2] Club, Private
- [3] Home Occupation*
- [4] Private Parking Lot (as exclusive or primary use)

(c) Uses not listed as permitted in this district are prohibited.

(d) Uses not listed as permitted in this district, but in existence prior to the date of adoption of § 112-__ will be considered non-conforming uses subject to the regulations of § 112-10 of the Village of Williamsville Municipal Code.

**Not the principal use of the property*

§ 112-17A(7)

TABLE 1: SUMMARY OF BUILDING AND AREA REQUIREMENTS

Building or Area Requirement	Regulation	Reference Standard in § 112-17
Front Yard Building Setback	0 to 10 feet; 11-20 feet with approved public open space.	B(2)(c), B(2)(d)
Side Yard Building Setback	0 to 20 feet combined width without driveways; 40 feet maximum with sideyard driveway.	B(2)(h), B(2)(i)
Rear Yard Building Setback	20 feet minimum where lot abuts district boundary.	B(2)(j)
Parking/Driveway Setback	5 feet minimum sideyards; 5 feet minimum rear yards; 10 feet minimum from right-of-way in sideyards	D(2)(a)-(b)
Off-Street Parking Requirement	1.5 spaces per 1,000 square feet of leasable area; 1.5 spaces per residential unit; round up to nearest whole number.	D(2)(j)-(k)
Building Height	Minimum two usable stories; 36 feet maximum; 20 feet maximum at setback abutting residential zone.	F(2)(f), F(2)(i)
Building Coverage	Maximum 10,000 gross square feet per story; 100 percent lot coverage permitted, unless lot abuts district boundary.	F(2)(c), B(2)(c)
Building Transparency	40 percent minimum between 3 feet and 10 feet above grade for first floors.	F(3)(c)

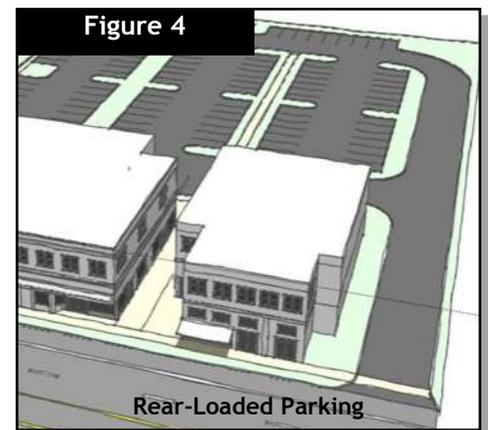
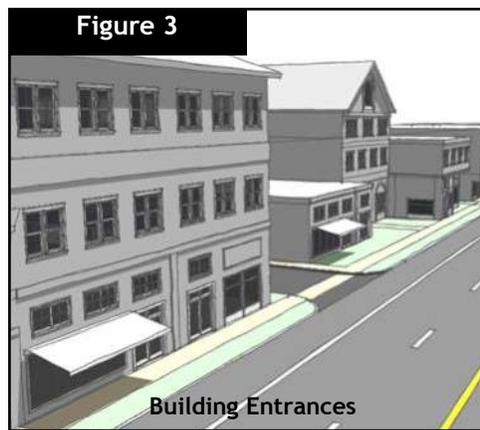
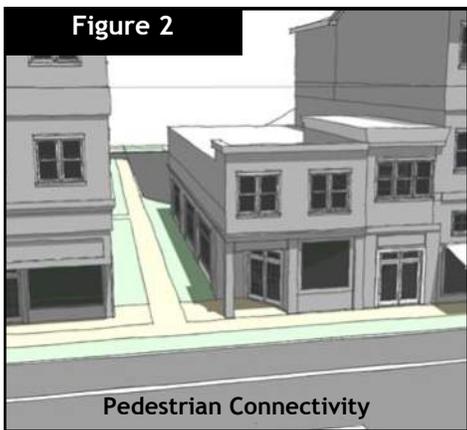
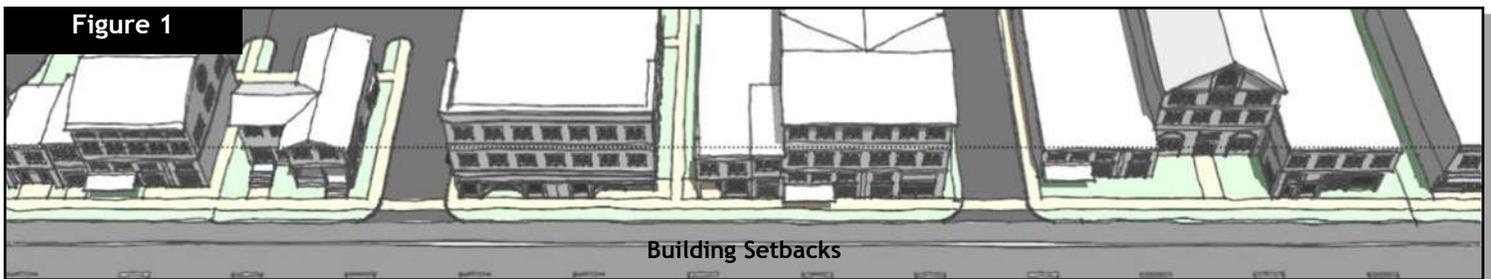
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§ 112-17B

SITE PLANNING AND DESIGN

§ 112-17B(1) OVERVIEW

SITE PLANNING STANDARDS PRIMARILY ADDRESS the organization of a project's components, such as building orientation, setbacks, circulation and the relationship of site elements (Figures 1-4). The location of buildings and site features and the organization of circulation patterns for vehicles and pedestrians are critical to the design and provision of a pedestrian-friendly atmosphere that is visually appealing, safe and convenient for all users. High quality site design along the street places structures close to the street line and parking areas to the rear, with a focus on creating a sense of place and an environment that fosters strong interaction between pedestrians, buildings and the street.

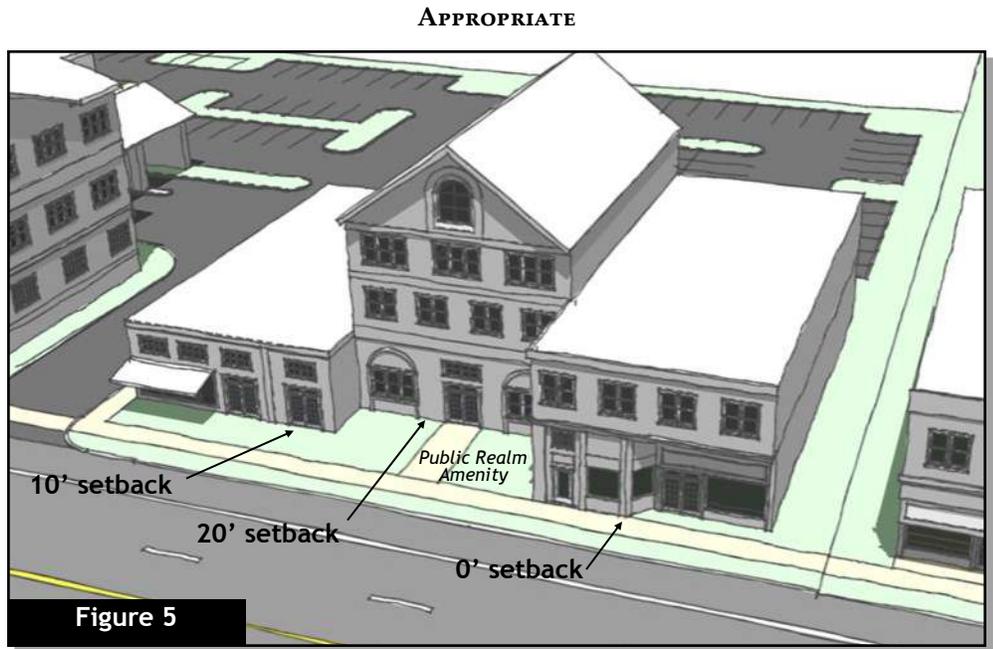


Site planning and design standards provide guidance on several topics related to the placement and orientation of buildings, entrances, parking, pedestrian connectivity and circulation patterns. When appropriately combined, these elements foster a vibrant and pedestrian-friendly environment, as reflected in Figures 1-4.

§ 112-17B(2)
BUILDING ORIENTATION
AND SETBACK

BUILDINGS SHOULD PRESERVE THE STREETWALL AND DEFINE BOUNDARIES OF PUBLIC, SEMI-PUBLIC, AND PRIVATE SPACE.

- (a) Buildings located on a primary street shall be oriented such that the façade facing the street is substantially parallel to said street.
- (b) At least 75 percent of a building’s primary façades, measured in linear feet of distance parallel to the right-of-way, shall meet the required setback distance as described below.
- (c) Buildings on a primary street shall have a front setback within a range of 0 feet and 10 feet from the right-of-way line or the average setback of existing principal structures on adjacent parcels within 200 feet, whichever is lesser. The Planning/Architectural Review Board may allow an additional 10-foot setback to permit the construction of dedicated public realm amenities or the construction of building overhangs (Figure 5).
- (d) In no instance shall the front plane of any principal structure on a primary street, not including overhangs, be greater than 20 feet from the right-of-way line.
- (e) *Not Used*
- (f) Buildings fronting on two or more streets shall be determined to have an equal number of primary façades unless said street is classified as an alleyway (Figure 6).
- (g) Buildings on corner lots shall be setback from each street the minimum distance practical to afford adequate sight distances for motorists and pedestrians as determined by NYS DOT highway standards.
- (h) Side yards with parking and driveways shall not be more than 40 feet of total width. See Section D(2)(b).
- (i) Lots without driveways shall have a maximum side setback of 20 feet of combined width for both side yards. Side yard setbacks are encouraged to be zero feet where permitted by NYS Building Code.
- (j) No principal building shall be placed within 20 feet of any residential district boundary (See § 112-17F(2)(i) & F(2)(j)).
- (k) Accessory structures shall not be greater than 18 feet in height and shall be set back from any property line abutting a residential district boundary a distance at least equal to the height of the structure.



As depicted in Figure 5, front yard setback distances may vary between 0 feet and 10 feet, which may be extended at the discretion of the Planning/Architectural Review Board to a maximum of 20 feet where outdoor dining or other pedestrian-focused amenities are to be located.

§ 112-17B(3)
LOTS WITH MULTIPLE BUILDINGS

LARGE DEVELOPMENT PROJECTS COMPRISED OF MULTIPLE STRUCTURES SHALL CREATE A UNIQUE SENSE OF PLACE.

- (a) Lots with multiple buildings shall include pedestrian connections between adjacent uses, structures and parking areas (Figure 8).
- (b) Multiple buildings shall create a well organized, accessible and functional site. The site layouts should create a unique sense of place without large parking lots devoid of landscaping or pedestrian accommodations (Figure 9).
- (c) Common or shared parking facilities and access for projects with multiple buildings shall be required to the extent practical or feasible, as determined by the Planning/ Architectural Review Board, to decrease the amount of impervious surface, increase open space and reduce curb cuts.

APPROPRIATE

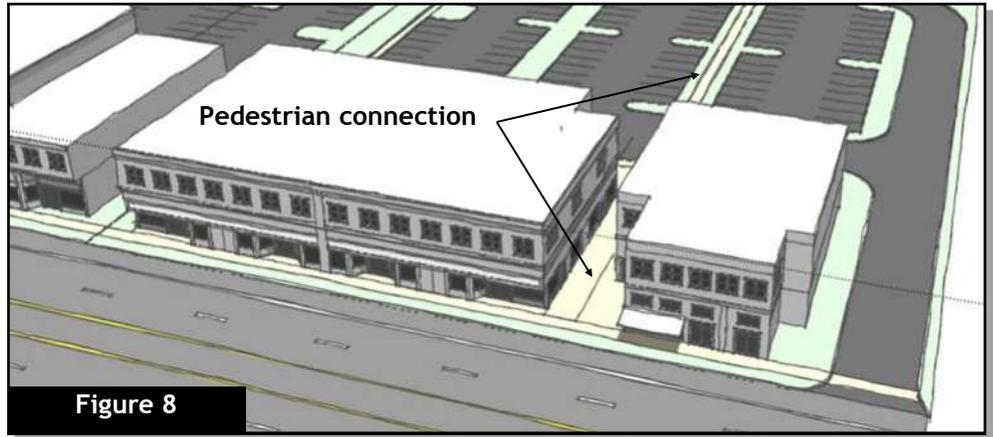


Figure 8
 Figure 8 depicts a single, large property on which two structures are built, each sharing a parking area in the rear. This concept also provides a common pedestrian network and plaza space that connects each building entry with the common parking lot and the street.

APPROPRIATE

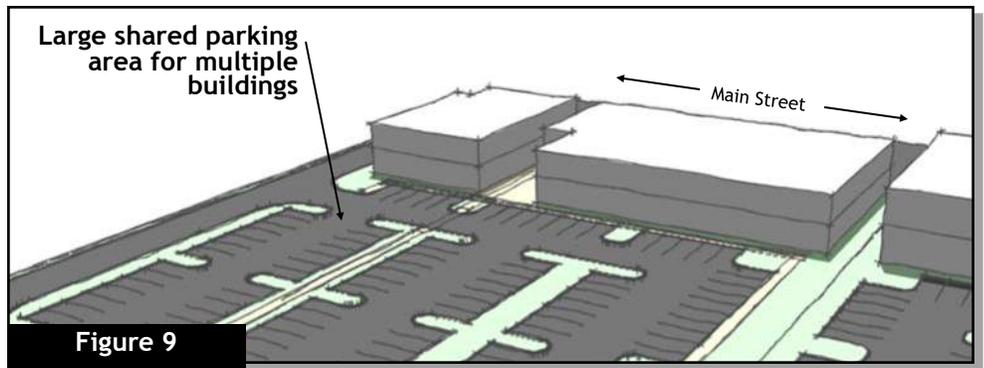


Figure 9
 Figure 9 details a rear view of the shared parking complex as part of a larger development project with multiple buildings. The arrangement of the parking area and landscaping elements are covered in Sections D and E, respectively.

**§ 112-17B(4)
BUILDING ENTRY**

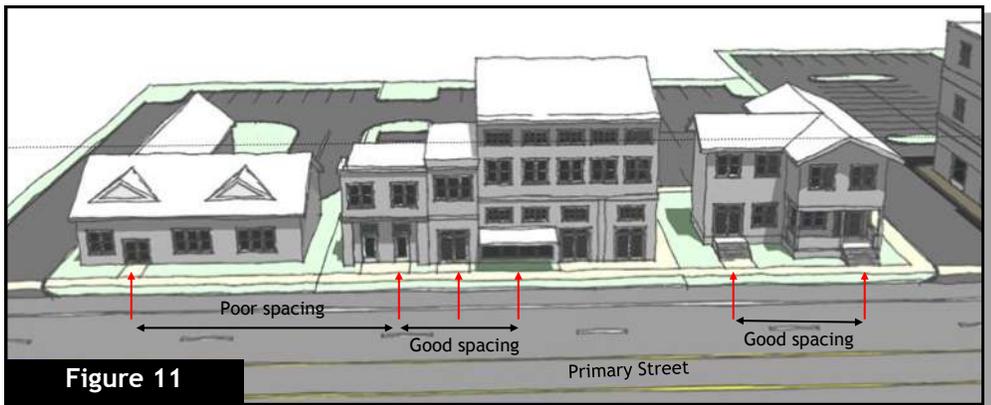
BUILDINGS SHALL BE ACCESSIBLE FROM A
PRIMARY STREET.

- (a) A primary entrance shall face the primary street (see Figures 10 & 11). A side or rear entry shall also be permitted depending on the site layout.
- (b) The placement of building entrances shall be of a similar rhythm and spacing to existing structures on the same street (see Figure 11).
- (c) *Not Used*
- (d) Buildings fronting on 2 streets shall have a primary entry on either the primary street or at the corner facing the intersecting streets.
- (e) Primary entries shall receive design considerations, details, and treatments consistent with primary facades, and shall meet the standards set forth in § 112-17G(5).
- (f) Primary entrances shall be prominently designed and constructed to provide visual cues to pedestrians independent of site or building signage (see Figure 10 and § 112-17G(5)).

APPROPRIATE



Figure 10 depicts a primary entrance along the primary street in the Village of Hamburg, that is well-defined and provides a clear visual cue to pedestrians on where to enter the structure.



The placement of entrances along the primary street (red arrows) are important to the development of streetscape rhythm, and provide a sense of scale and comfort to pedestrians as they traverse the corridor.

**§ 112-17B(5)
SIDEWALKS**

SIDEWALKS SHALL PROVIDE SAFE PEDESTRIAN MOVEMENT ALONG BUILDINGS AND WITHIN PARKING AREAS.

- (a) Sidewalks shall have a minimum width of 5 feet, 6 feet for communicating sidewalks, or wider at the discretion of the Planning and Architectural Review Board.
- (b) Sidewalks shall be constructed to provide access from all principal building entrances to the sidewalk system and parking areas (Figures 12 & 13).

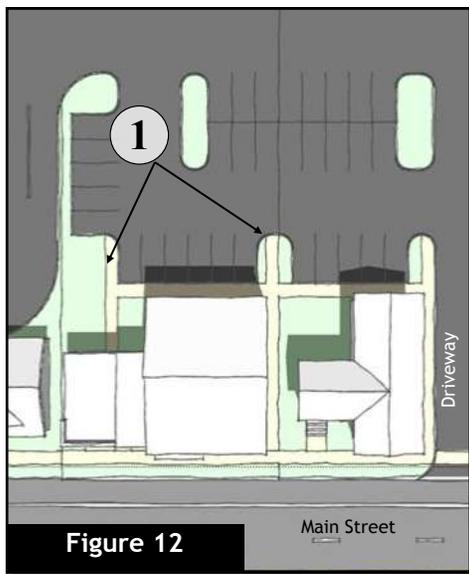
- (c) All sidewalks adjacent to streets, driveways and parking lots shall be curbed to separate pedestrians and vehicles.
- (d) As necessary, sidewalks shall traverse parking lot medians, end islands and between buildings to permit safe and efficient pedestrian travel (Figures 12 & 13).
- (e) Sidewalks abutting a public street shall be constructed of poured concrete. Other sidewalks may be constructed of poured concrete, brick, or concrete pavers. Asphalt sidewalks are not permitted.
- (f) An application subject to review under these Design Standards and approved hereunder need not obtain a separate sidewalk construction permit pursuant to § 89-4(D)(1).

**§ 112-17B(6)
PEDESTRIAN AND VEHICULAR CIRCULATION**

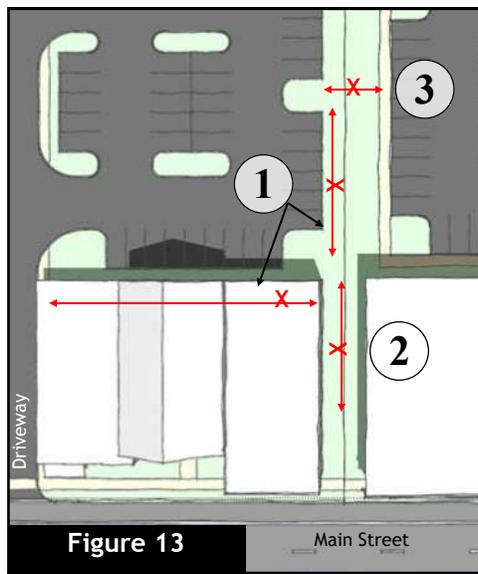
PEDESTRIANS AND MOTORISTS SHALL BE AFFORDED SAFE, CONVENIENT AND EFFICIENT CIRCULATION.

- (a) Pedestrian and vehicular circulation patterns shall be designed to minimize potential conflicts between vehicles and pedestrians and to provide enhanced separation.
- (b) Safe, convenient and efficient pedestrian circulation patterns shall be provided between structures in a multiple structure development (see § 112-17B(3) and Figure 14).
- (c) Parking and vehicle circulation patterns shall be designed to reduce speeds and increase pedestrian safety, efficiency and convenience.

APPROPRIATE



INAPPROPRIATE



APPROPRIATE



Sidewalks are critical infrastructure required to establish a sense of place and a pedestrian-friendly environment. Sidewalk connections between and alongside buildings (1) are required to make rear-loaded parking feasible.

This example depicts: (1) a lack of sidewalks from parking stalls to a primary entry; (2) a missed opportunity for a pedestrian connection to the street; and (3) a lack of connectivity between adjacent parking lots.

Pedestrian zones and vehicular circulation patterns should be distinctly separated for safety.

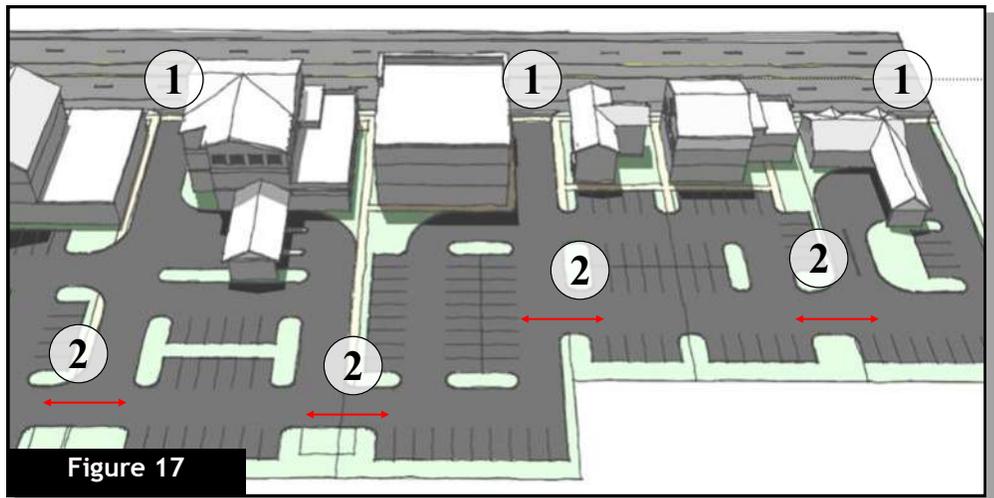
**§ 112-17B(7)
DRIVEWAYS AND ACCESS**

THE USE OF SHARED DRIVES AND CROSS ACCESS IMPROVES CORRIDOR VITALITY, MOBILITY, AND SAFETY.

- (a) Shared entrances and exits shall be provided where determined appropriate and feasible by the Planning/ Architectural Review Board.
- (b) Absent a showing by the applicant of impracticality, the provision for cross access among adjacent properties shall be required to internalize traffic and reduce turning movements directly onto Street (Figures 17 & 18).
- (c) New construction or improvements shall plan for, accommodate, and/or reserve land for future connections with adjacent properties to facilitate cross access.
- (d) Driveways outside the public right-of-way shall be no more than 24 feet in width.
- (e) A designated 5-foot wide curbed sidewalk shall be provided between the edge of entry drives and the principal building.

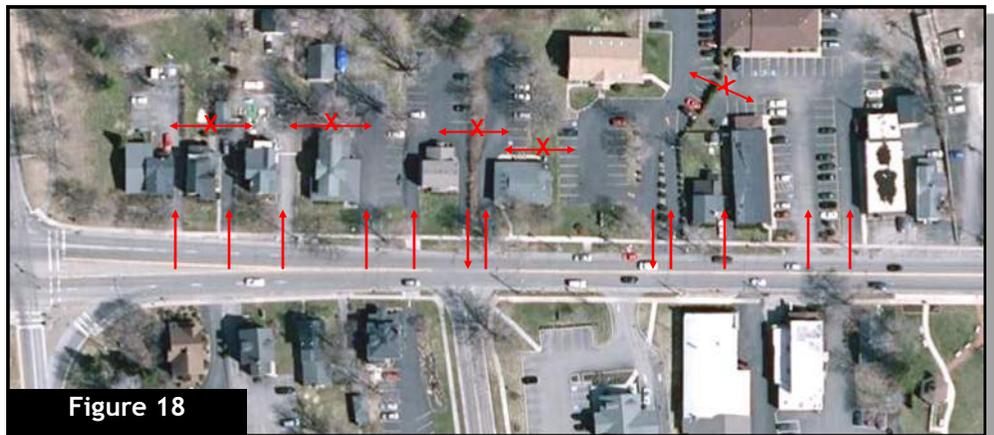
(f) Driveways shall be set back from the side lot line a distance of 5 feet, and from principal buildings a distance of no less than 5 feet, or as required for safe sight distances. Shared drives are not required to provide the 5-foot side yard setback.

APPROPRIATE



The provision of shared entrances (1) rather than individual drives reduces the number of turning movements onto busy corridors, and can enhance internal circulation, especially when used in tandem with cross access between adjacent rear parking lots (2).

INAPPROPRIATE



The arrows highlight the issues associated with individual access points and a lack of cross access between properties along primary roadways. The numerous turning movements reduces transportation safety, while the constant break in the street line hinders the rhythm of the streetscape and degrades the pedestrian experience.

§ 112-17C

SITE INFRASTRUCTURE AND FACILITIES

§ 112-17C(1) OVERVIEW

THE DESIGN AND LOCATION OF SITE INFRASTRUCTURE AND FACILITIES should be complementary to and appropriate for the principal structure. Where feasible, utilities should be located in side or rear yards, buried underground, and/or screened from view. Those infrastructure elements which cannot be obscured from view should be designed as an integral and aesthetically pleasing feature of the landscape or building (Figures 19 & 20). The intent of these standards is to minimize visual, noise, and other associated negative impacts of site infrastructure and facilities.

For the purpose of §112-17, site infrastructure and facilities shall include, but is not necessarily limited to the following:

- Loading and staging areas;
- Service and maintenance areas;
- Refuse and material storage;
- Vehicle and equipment storage (except parking);
- Storm water facilities and appurtenances; and
- Above-ground utilities.

APPROPRIATE

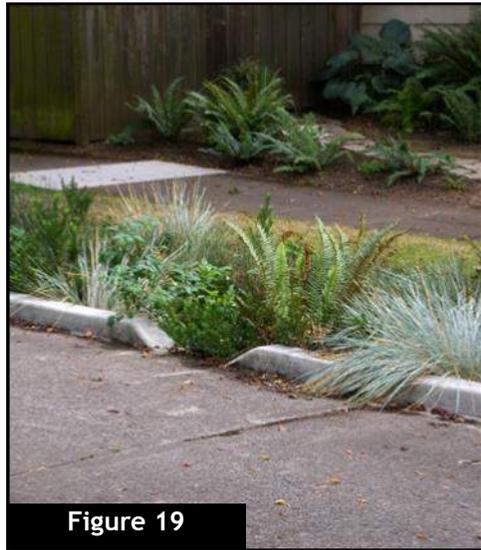


Figure 19

Efforts should be made to integrate storm water management into the numerous small greenspaces within the urban environment adjacent to driveways and parking lots, consistent with the most current New York State Stormwater Management Design Manual.

INAPPROPRIATE



Figure 20

The use of open water detention ponds are not appropriate stormwater management techniques for the urban environment of Williamsville's Neighborhood Mixed Use District.

**§ 112-17C(2)
LOADING, SERVICE,
MAINTENANCE AND
REFUSE FACILITIES**

VIEWS OF UTILITY, LOADING AND REFUSE
AREAS SHALL BE OBSCURED FROM
ADJACENT AREAS.

APPROPRIATE



Figure 21

Figure 21 depicts a loading and refuse area positioned at the rear of the building, just out of view of primary pedestrian and circulation routes.

- (a) Loading docks, bays, and staging and service areas shall be located to the rear of the structure. Side loading areas may be approved at the discretion of the Planning/ Architectural Review Board with approved screening (Figures 21 & 22).

INAPPROPRIATE



Figure 22

Although this building is constructed to the street line, the loading dock (1) is facing the primary street, presenting visual disruption.

- (b) When the rear of a structure abuts a street or residential zone, loading areas shall receive appropriate screening in accordance with 112-17E(5).

properties and all streets.

- (c) *Not Used*

- (d) The staging, storage and parking of vehicles, equipment, or materials as part of a commercial enterprise shall not occur in front yards and shall be screened from view from all streets and surrounding properties.

- (f) All refuse appurtenances, equipment and containers shall be located within a four-sided enclosure constructed of the same or complementary materials found in the principal structure. Such enclosure shall be constructed to a height not less than one foot above the height of all elements within the enclosure (Figure 23). See also § 39, § 73-3 and § 74 for further regulations regarding refuse.

APPROPRIATE



Figure 23

The above detached refuse enclosure is placed at the rear of the building and is composed of like materials as found in the principal structure.

- (e) The storage and/or staging of refuse shall take place in the rear yard and shall be buffered or screened from view from parking facilities, adjacent

- (g) Gate access to the enclosure shall be located out of direct view from principal building entrances and adjacent

residences. Gates shall remain in a closed position at all times other than during refuse pick-up or delivery.

**§ 112-17C(3)
STORM WATER AND
GREEN INFRASTRUCTURE
FACILITIES**

STORMWATER MANAGEMENT AND GREEN
INFRASTRUCTURE FACILITIES SHALL ENHANCE
THE AESTHETIC APPEAL OF THE
NEIGHBORHOOD MIXED USE DISTRICT.

In addition to all applicable requirements provided in § 112-28, the installation of any storm water management facility in the NMU District shall be subject to the following:

- (a) Storm water detention or retention ponds are not permitted in front yards.
- (b) No storm water detention facility shall have a permanent pool, and the use of rip-rap and stone fill is not permitted.
- (c) Storm water management facilities shall be integrated into the overall site design.
- (d) The use of subterranean storage for storm water runoff is encouraged where practicable.
- (e) The provision of fencing around storm water facilities is prohibited, unless the Planning & Architectural Review Board determines that such fencing provides a positive design element.

- (f) Where practicable, the use of green infrastructure design elements, such as, but not limited to, bioswales, rain gardens, bioretention areas, porous pavements, green roofs, and other measures which promote the infiltration, transpiration, and evaporation of storm water runoff shall be encouraged (Figures 24 & 25).
- (g) All storm water management facilities and green infrastructure facilities shall provide a pleasing aesthetic complementary to the character of the Village.
- (h) All green infrastructure design elements, including plantings and pavements, shall be regularly maintained to promote their proper and intended function.

APPROPRIATE



Figure 24

Porous pavements are encouraged to further facilitate infiltration and slow storm water runoff. These materials are especially useful along the periphery of parking areas and/or adjacent to bioretention areas (below).

APPROPRIATE



Figure 25

Where appropriate, bioretention areas and bioswales similar to the above may be used to promote the infiltration of storm water. These installations would be appropriate in parking lot medians or in linear strips along drive aisles or behind parking lots in lieu of large, unsightly retention facilities.

§ 112-17C(4) UTILITIES

ABOVE GROUND UTILITIES SHOULD BE A POSITIVE ELEMENT WITHIN THE OVERALL DESIGN AESTHETIC.

- (a) Where feasible, utility service connections from rights-of-way or easements shall provide subterranean connections to site structures and appurtenances, including, but not limited to, principal structures, garages, storage buildings, and site lighting.
- (b) Above ground utility service connections, appurtenances and fuel pumps shall be located in side yards or rear yards and screened from view from the street as necessary (Figures 26 & 27). This includes, but is not limited to, generators, transformers, vaults, 'hot-boxes,' switch-gear, meters, valves, compressors, pumps, control or service panels, or any heating, ventilation and cooling equipment. See also § 112-17(E)(5).

APPROPRIATE



Figure 26

When required to be placed within view of the public, ground-mounted utility boxes should be screened or designed as an integral element within the site.

INAPPROPRIATE



Figure 27

Ground-mounted utility boxes such as that depicted in Figure 27 shall be placed in rear or side yards with appropriate screening.

§ 112-17D

PARKING

§ 112-17D(1) OVERVIEW & APPLICABILITY

PARKING AREAS SHOULD BE INTEGRATED DESIGN COMPONENTS that do not detract from the character of the Village. Parking areas shall be located to the rear of structures and away from the street, except where the placement in side yards may be determined acceptable by the Planning & Architectural Review Board due to site constraints. § 112-16D(2) through D(5) are intended to minimize visual, environmental, noise, safety and other associated impacts of parking facilities by regulating their placement, design, and buffering (see Figures 28, 29 & 30). These standards apply to any parking lot and associated driveways that are (i) newly constructed; (ii) expanded; (iii) substantially modified; or (iv) or substantially reconstructed. For purposes of this section, substantial modification shall mean any change in the number or configuration of parking spaces, traffic flow patterns, or manner of ingress or egress. Substantial reconstruction shall mean the removal and replacement of more than 25 percent of the existing paved surface.

APPROPRIATE

INAPPROPRIATE

INAPPROPRIATE



Figure 28

Figure 29

Figure 30

Parking lots located in the rear of buildings connected to the primary street via dedicated walkways improve the vitality of the streetscape and preserve the appearance of the District.

Vehicular parking in front yards detracts from the overall character of the streetscape and the pedestrian experience.

Large, front-loaded parking lots and buildings with deep setbacks foster a development pattern out of scale with the Village.

**§ 112-17D(2)
PARKING**

PARKING AREAS SHALL BE LOCATED OUTSIDE OF FRONT YARDS.

(a) Vehicular parking, standing, loading and drop-off facilities shall be located in rear yards whenever possible and not less than 5 feet from the rear property boundary or 5 feet from a side property boundary (Figures 31 & 32). Existing parking lots located in the front of a building may not be expanded.

(b) Upon demonstration of significant site limitations by the applicant, the Planning/ Architectural Review Board may allow side yard parking behind a line extending from the primary building façade parallel to the street. In no instance shall side yard parking lots be less than 10 feet from a street right-of-way or 5 feet from a side lot line (Figure 33).

(c) For corner lots, side yard parking shall be allowed subject to all other applicable regulations governing side yard parking.

APPROPRIATE



Figure 31
Vehicular parking lots shall be placed in the rear of the structure. In limited instances, side yard parking will also be permitted subject to conditions and approval as determined by the Planning Board [D(2)(b)].

INAPPROPRIATE

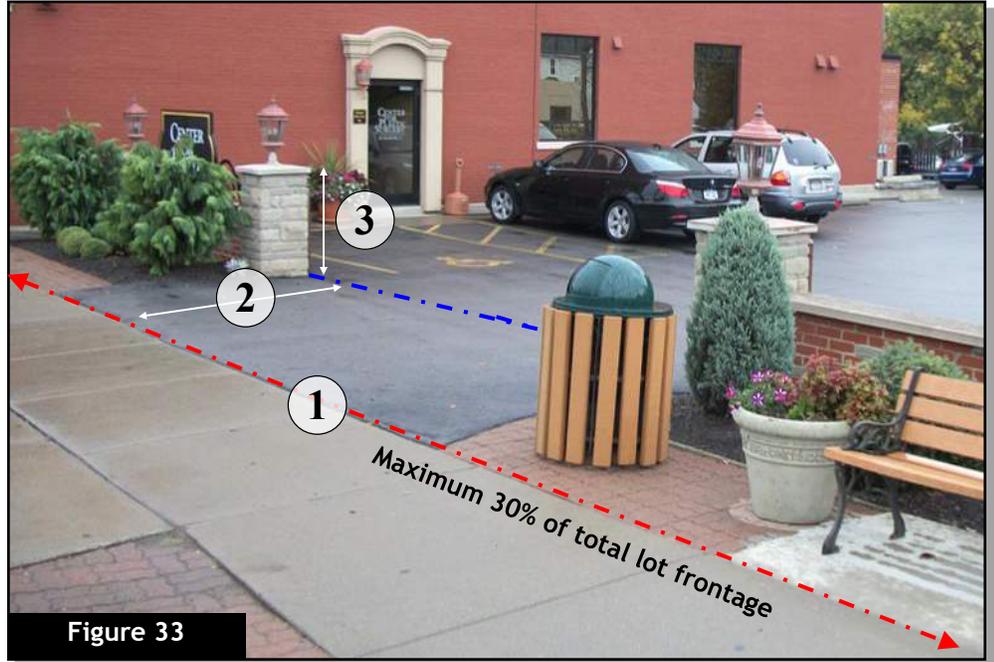


Figure 32
Front loaded parking is not permitted for structures along Main Street. Projects with multiple structures, some of which may be located in the rear of the lot, may have front loaded parking on those rear-lot structures only.

§ 112-17D(2) PARKING, CONTINUED

§ 112-17D: PARKING

- (d) Side yard parking shall require the installation of appropriate screening between the parking lot and street, as determined by the Planning Board (Figures 33 & 34).
- (e) Parking lot screens shall be composed of a structural screen and vegetation. Screen materials shall be similar or complementary to those found on the primary building (Figures 33 & 34, § 112-17E(5)).
- (f) For lots with side yard parking, the linear distance of parking at the front lot line shall not exceed 30 percent of the total lot width.



When sideyard parking is permitted, parking shall not constitute more than 30 percent of the total lot frontage (1). The minimum front yard setback distance for sideyard parking is 10 feet, and the parking shall be setback further than the leading edge of the building (2). A screen composed of fencing/wall and vegetation must also be installed between the parking lot and public right-of-way (3).

- (g) For sites proposed with multiple structures, parking shall be centralized and shared in parking rooms of no more than 50 cars.
- (h) Parking areas, pedestrian walks, landscaped islands and medians, and building foundations shall be bounded by concrete or stone curbing to delineate vehicular and pedestrian zones and to control drainage, as needed.
- (i) Asphalt curbing is not permitted.
- (j) Off-street parking spaces shall be provided at a minimum of 1.5 spaces per 1,000 square feet for non-residential leasable area.
- (k) A minimum of 1.5 off-street parking spaces per dwelling unit shall be provided for residential uses rounded upwards to the nearest whole number.



Side yard parking screens shall include a formalized structure that matches the character and materials of the primary building, along with vegetation to buffer the negative visual impacts of parked cars on the Main Street corridor.

§ 112-17E

LANDSCAPING

§ 112-17E(1) OVERVIEW

URBAN APPROPRIATE LANDSCAPING AND HARDSCAPING should enhance and screen views along the street. The intent of § 112-17E is to maximize the visual, aesthetic, and pedestrian experience of street corridor users through the use of appropriately scaled and designed landscaping. This section shall also cover the mitigation of visual impacts through the buffering or screening of utilitarian site and building design elements. In addition to § 112-17E of the Design Standards, Chapter 57 and Chapter 101 of the Williamsville Code shall also apply unless indicated otherwise. Standards E(1)(a) through (e) determine the overall amount of planting material to be provided for the landscaping, buffering and screening of individual sites, buildings, and parking areas in the NMU District.

- (a) One planting unit equals 1 mature shade tree, 2 minor deciduous trees, 2 evergreen trees, 5 shrubs, 10 perennials, 250 square feet of groundcover or 15 linear feet of decorative planters.
- (b) A minimum of 1 planting unit shall be required for each (i) 30 linear feet, or fraction thereof, of lot frontage along a street; and (ii) for each 500 square feet, or fraction thereof, of building coverage.
- (c) At the discretion of the Planning/Architectural Review Board, the retention of existing vegetation on site may be utilized to satisfy up to 50 percent of required planting units.
- (d) Each existing mature shade tree with a trunk diameter of 6 inches or greater when measured at breast height (dbh) may satisfy the requirement for up to 2 planting units. Other existing trees on site with a trunk diameter between 2 and 6 inches dbh may satisfy requirements for up to 1 planting unit each.
- (e) Existing vegetation must be adequately protected during and after construction, and must survive a minimum of 2 years beyond the completion of construction activities to qualify as required planting units.

APPROPRIATE

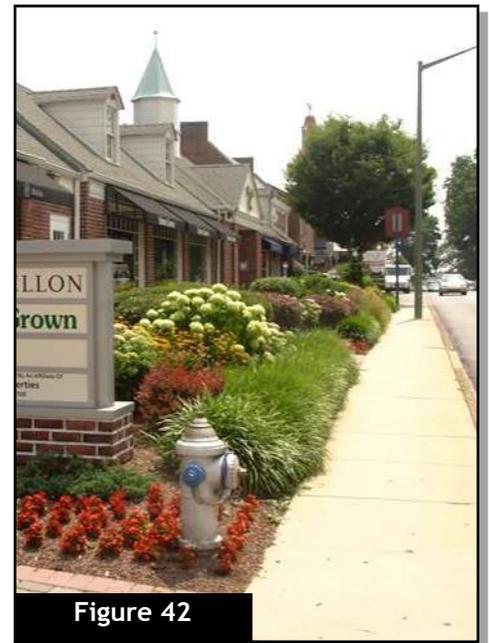


Figure 42

The effective use of plant material helps define a sense of enclosure and volume in outdoor spaces. Plant material should not overpower the surrounding landscape or buildings, and should be of a similar scale and height to structures within the District at maturity.

§ 112-17E(2) SITE LANDSCAPING

URBAN APPROPRIATE LANDSCAPING AND
HARDSCAPING SHALL ENHANCE AND SCREEN
VIEWS ALONG THE STREET.

- (a) Site landscaping shall be required along all property boundaries, except: (i) where side yards are less than 3 feet; (ii) where front yards are less than 6 feet; or (iii), where approved shared-parking lots adjoin abutting properties (See § 112-17E(4)(a) and (b)).
- (b) Plantings shall be limited to species native, hardy, salt-tolerant, known to be non-invasive to the area, and deer-resistant. Significant deviations from this criteria must be supported by ample evidence by the applicant.
- (c) Where a tree lawn is provided, major shade trees shall be planted along the lot frontage, parallel to the street with a spacing not to exceed 50 feet or consistent with existing tree spacing.
- (d) Consideration shall be given during species selection to the mature form, habit, and size of vegetation to ensure plantings do not create safety hazards within the District.
- (e) Properties with 80 percent or greater building coverage shall be excluded from providing site landscaping.

APPROPRIATE



Figure 43

Figure 43 depicts appropriate frontage landscaping with appropriately scaled plantings, signage and lighting.

INAPPROPRIATE



Figure 44

Plantings that overwhelm the location due to size or habit look unkempt, contribute to a decrease in pedestrian safety and an increase in property maintenance costs. The plantings in Figure 44 are much too large for front yards in the Main Street corridor.

**§ 112-17E(4)
FOUNDATION LANDSCAPE
TREATMENTS**

FOUNDATION LANDSCAPE TREATMENTS
PROVIDE A TRANSITION BETWEEN THE
BUILDING AND SITE.

- (a) Front yards setbacks of less than 6 feet in depth, shall be paved with hardscape materials to provide an extension of the sidewalk and pedestrian zone to the building façade. Such front yard treatments may be required of other properties along the street at the discretion of the Planning/ Architectural Review Board.
- (b) Durable containers and permanent landscape planters shall be used in front yards less than 6 feet in depth or in other instances where appropriate landscaping cannot otherwise be obtained given site constraints.
- (c) The design and material selection for containers and landscape planters shall be complementary to the architectural style of the principal building. The use of plastic planters is not permitted.
- (d) At the discretion of the Planning & Architectural Review Board, plantings and mulches may be required to be installed along the foundation of the proposed structure in

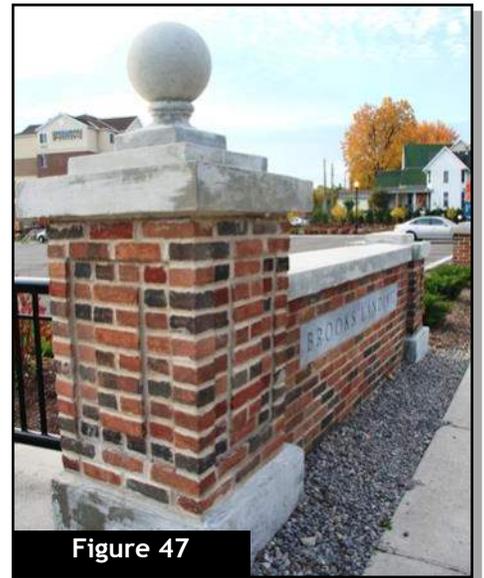
**§ 112-17E(5)
BUFFERS AND SCREENS**

HIGH QUALITY AND SENSITIVE VIEWSHEDS
SHALL BE PRESERVED THROUGH APPROPRIATE
BUFFERING AND SCREENING.

- (a) Buffer plantings of coniferous/ deciduous trees and shrubs, with fencing where appropriate, shall be provided along property boundaries adjacent to properties zoned or exclusively used for residential purposes to a density and height deemed appropriate by the Planning & Architectural Review Board.
- (b) Parking in side or rear yards (see § 112-17E(2)) shall be screened from streets or adjacent residential properties with attractive landscaping and fencing.
- (c) All side yard parking lots that abut the front yard setback shall be screened from streets or adjacent residential properties with attractive landscaping and fencing.
- (d) Existing parking lots along front yard setbacks shall be screened from streets or adjacent residential properties with landscaping and/or attractive fencing.
- (e) Fencing shall be consistent with primary building materials and no more than 4 feet in height (see Chapter 25).

- (f) The use of individual coniferous trees without associated shrub plantings is not an approved buffer strategy.
- (g) All shrub plantings shall be contained within a defined and edged planting bed with mulch no less than 3 inches in depth.

APPROPRIATE



The above structural screen utilizes masonry columns and fencing to provide a visual and physical buffer between a sidewalk and parking area.

APPROPRIATE



Landscape screen vegetation should not be taller than the structure screen, and should provide added interest and visual buffering.

§ 112-17F

ARCHITECTURAL CONSISTENCY

§ 112-17F(1) OVERVIEW

THESE DESIGN STANDARDS SEEK TO PRESERVE AND ENHANCE the architectural character of the Village and ensure that development is consistent with the surrounding landscape of the Village. New construction, building additions, rehabilitations, renovations, and/or changes in use must complement the Village traditional architecture and improve the experience for pedestrians and motorists. The Village does not seek strict uniformity amongst structures, nor the precise re-creation of historic styles. However, sufficient care and attention must be provided to building design concerning proportion, massing, style consistency, solid to void ratios, rhythm, pedestrian scale and detailing such that overall building composition is in harmony with itself, the site and its surroundings.

§ 112-17F provides standards for the following:

- building form and massing;
- commercial character; and
- residential character.

Adherence to these standards will provide a comfortable, enjoyable, and aesthetically pleasing environment within the Neighborhood Mixed Use Districts. The use of familiar building forms, massing, architectural styles, and details is required to complement the Village's valued historic character.

APPROPRIATE



Figure 49

The creation of a consistent streetwall is an important design element for pedestrian-friendly and comfortable environments. In addition, enhanced transparency on store frontages, and the repetitive rhythm of the entryways creates a vibrant and active streetscape.

§ 112-17F(2) BUILDING FORM AND MASSING

BUILDINGS MUST BE CONSISTENT IN FORM
AND MASSING WITH VILLAGE CHARACTER

- (a) New building construction, renovations and additions must relate to the proportion, massing, and scale of surrounding valued historic forms.
- (b) These standard do not require the precise re-creation of historic styles. Contemporary interpretations in correct proportion, character and style can be utilized to strengthen the identity of new buildings.
- (c) The maximum gross building area for each story of a single building shall be 10,000 square feet.
- (d) In instances where the front façade is greater than 50 feet in width, delineations and treatments, such as a recess or projection that varies the depth of the building wall, shall be used to break up its appearance.
- (e) Structures shall incorporate fascias, canopies, arcades, setbacks, recesses, projections or other design features to compose wall surfaces of 600 square feet or less to avoid large, undifferentiated walls.

APPROPRIATE



Figure 50

This recently constructed building relates to historical style, form, massing and materials, yet is not a precise re-creation of historic design. Its design is focused on providing an appropriate scale that reinforces the surrounding pedestrian realm.

APPROPRIATE



Figure 51

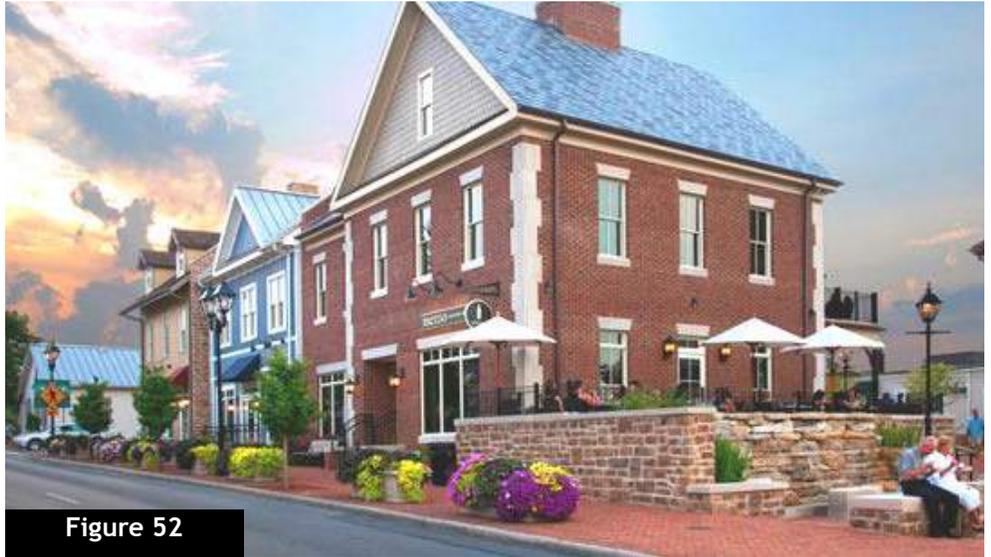
Larger building footprints along the street shall break up the façade treatment to provide visual distinction, variety, and the appearance of multiple structures, as seen above in the above image.

**§ 112-17F(2)
BUILDING FORM AND
MASSING, CONTINUED**

- (f) New building construction and building additions fronting on the primary street shall be a minimum of 2 usable stories, with an overall maximum height of 36 feet.
- (g) For lots abutting a residential district, the Planning and Architectural Review Board, at its discretion, may approve one-story additions in the rear or side yard that abuts such residential district.
- (h) *Not Used*
- (i) The maximum building height at the minimum building rear yard setback abutting residential zones is 20 feet .
- (j) For buildings with multiple storefronts, there shall be a direct correlation between the

delineations of interior tenant spaces and exterior façade treatments.

APPROPRIATE



The added height of the first floors for structures in Figure 48 provides continuity and adds a sense of prominence to the lower levels of the buildings.

INAPPROPRIATE



INAPPROPRIATE



Figures 52 and 53 depict buildings that are inappropriate within the Neighborhood Mixed Use Districts. Although Figure 52 depicts a building at the streetline, the height and lack of window rhythm and detailing is unappealing. The structure in Figure 53 has many positive components, including a significant amount of transparency. However, its height and front yard parking are not desirable for the Neighborhood Mixed Use Districts.

**§ 112-17F(3)
COMMERCIAL BUILDING
CHARACTER**

COMMERCIAL BUILDINGS MUST ALLOW FOR THE MIXING OF USES IN UPPER STORIES.

- (a) New construction, building renovations, and building additions shall complement the traditional architecture of Western New York State.
- (b) Buildings shall have a solid to void ratio created by window openings and wall surfaces that is consistent with the valued historic forms found in the Village. A similar or complementary ratio shall be provided or maintained on existing structures upon renovations or changes in building use.
- (c) All new or renovated commercial buildings with frontage on public streets shall provide areas of transparent glazing equal to or greater than 40 percent of the wall area between the height of 3 feet and 10 feet from the ground.
- (d) Tinted glazings that reduce transparency of 1st floors shall not count towards the minimum transparency requirement (See also §112-17 G(3)). Low thermal emissivity coatings do not constitute tinting.
- (e) Commercial buildings shall

APPROPRIATE



Figure 56

This recently renovated building complements its surroundings, provides historically relevant design cues, maintains an active storefront, and displays a prominent entrance [F(3)(a)].

APPROPRIATE



Figure 58

The contemporary development seen in the above figure provides a consistent solid to void ratio and street level transparency appropriate for the NMU District in Williamsville [F(3)(b) and(c)].

APPROPRIATE



Figure 59

This new building borrows historic design elements and details, yet is not a strict re-creation of an existing historic building. Structures such as this are appropriate in scale, massing and style for the NMU District [F(3)(a)].

provide visual distinction between the 1st floor and upper floors through the use of appropriate architectural elements, details, materials and/or color.

§ 112-17F: ARCHITECTURAL CONSISTENCY

INAPPROPRIATE

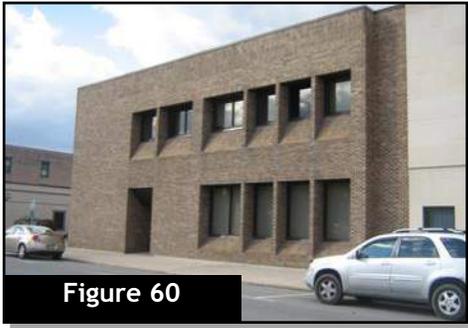


Figure 60

APPROPRIATE



Figure 64

APPROPRIATE



Figure 65

INAPPROPRIATE



Figure 61

APPROPRIATE



Figure 66

INAPPROPRIATE



Figure 62

Structures such as that found in Figures 60 and 61 do not relate to or complement the traditional architecture [§ 112-17F(3)(a)].

Additions such as that depicted in Figure 62 do not relate to the existing building, and shall be avoided [F(3)(a)].

The elimination of windows (Figure 63) is not appropriate for the adaptive reuse of existing structures [F(3)(b)].

Figure 64 depicts an appropriate adaptive reuse of historic structures which retain the commercial storefronts and appropriate transparency along the primary façade [F(3)(b) & F(3)(c)].

Figure 65 depicts a subtle, yet effective, use of architectural details to provide visual distinction between the 1st floor and upper stories while maintaining transparency [F(3)(c) & F(3)(e)].

Figure 66 provides an appropriate example of new development that is in scale with its surroundings, successfully utilizes historic design cues from traditional architectural styles, and differentiates the 1st floor from upper stories [F(3)(a) & F(3)(d)].

INAPPROPRIATE



Figure 63

**§ 112-17F(4)
RESIDENTIAL BUILDING
CHARACTER**

RESIDENTIAL BUILDINGS SHALL HAVE A DISTINCT CHARACTER COMPARED TO THEIR COMMERCIAL COUNTERPARTS.

- (a) The standards set forth in § 112-17F(3)(a) and (b) shall apply to residential use buildings (Figure 67).
- (b) Fire escapes shall be located on side and rear yards only.
- (c) The enclosure of existing front porches, other than through the use of transparent glazing, is not permitted. Window and door openings shall not be filled in such that the resulting façade lacks a consistent solid to void ratio.
- (d) New construction, renovations and additions shall not create large, undifferentiated walls with few to no windows or door openings facing a street, drive or parking area (Figure 68).
- (e) Principal and shared pedestrian entrances for ground floor residential units shall face the primary street and have a direct connection to the sidewalk system (Figure 67).
- (f) Individual residential units with principal entrances at ground level shall have front porches or entryways that are covered, elevated above grade, or otherwise distinguished to provide visual separation from

APPROPRIATE



Figure 67

Residential development, such as the example above, shall provide a visually distinct style from that found in adjacent commercial buildings. The placement of building entrances, fenestration and the use of materials shall complement surrounding development and the character of the corridor. Residential building entrances shall face the primary street and have a direct connection to the sidewalk system [§ 112-17F(4)(e)].

INAPPROPRIATE



Figure 65

The structure in Figure 68 does a poor job of addressing the street, and building entrances are not pronounced. This building does not evoke a residential appearance, and provides a stark building wall against the streetline [§ 112-16F(4)(d)]. The architectural style of this building is also not appropriate for Williamsville.

§ 112-17G

ARCHITECTURAL DETAILS

§ 112-17G(1) OVERVIEW

ARCHITECTURAL DETAILS SHALL COMPLEMENT AND ENHANCE overall building composition, and shall be appropriate to the style and character of the building, the site, and the surroundings (Figure 69). A lack of architectural detail and ornamentation leaves the building devoid of interest (Figure 70); an over abundance of which creates a confusing and jumbled appearance. The use of details shall be kept consistent with buildings of a similar architectural style, yet should also be utilized to supply a unique identity for the structure. For example, window and door trim should call attention to and accentuate openings without dominating or confounding the building façade.

§ 112-17G provides standards for the following:

- Building base and foundations;
- Building glazing;
- Roofs, cornices and overhangs;
- Doors and entryways; and
- Building materials.

Applicants shall utilize the treatment of windows, entrances, awnings, storefronts and building bases to ensure the structure makes a prominent statement without overpowering the Neighborhood Mixed Use District.

APPROPRIATE



Figure 69

Architectural details such as cornice lines, pilasters, and recessed windows finish a building façade and are extremely important in developing a sense of place and strengthening the identity of the Neighborhood Mixed Use Districts as a vibrant and active community

INAPPROPRIATE

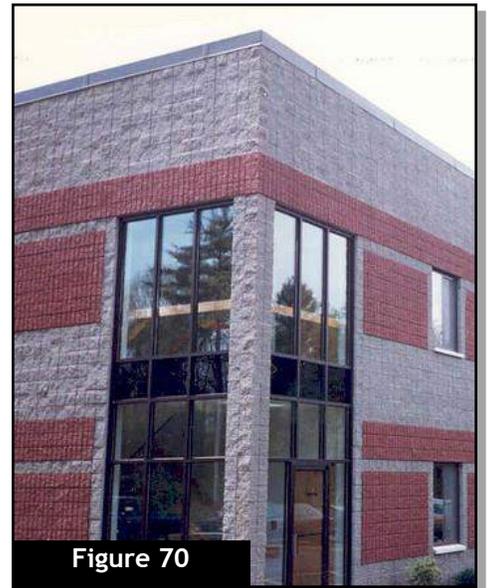


Figure 70

A lack of architectural detail coupled with the improper utilization of building materials and design proportions can reduce the visual appeal and economic value of structures within the Neighborhood Mixed Use Districts..

§ 112-17G(2) BUILDING BASE AND FOUNDATIONS

THE BUILDING BASE SHALL VISUALLY
HIGHLIGHT THE CONNECTION BETWEEN THE
STRUCTURE AND THE SITE.

- (a) A formal building base shall be distinguished from the upper portions of the structure through a change of materials, color, texture and/or projection (Figures 71, 72 & 73).
- (b) The base treatment shall be continuous along facades facing streets and parking areas (Figure 71).
- (c) The building base shall be included on all primary facades, and shall complement the architectural style and window and door fenestrations.
- (d) Foundations of masonry block or poured concrete shall not be left exposed, and shall be adorned with appropriate finishing materials in character with the structure base and vernacular to the region.

APPROPRIATE



Although subtle (1), the highlighting of the building base anchors the structure to the site, and provides visual distinction between the ground plane and the structure [112-17G(2)(a)]. Material selection shall complement the architectural style of the building and those materials commonly found within the region [§ 112-16G(2)(d)].

INAPPROPRIATE



The building façade shall not abruptly end at the sidewalk (1). The building shall have a base of material that anchors the structure to the site [§ 112-17G(2)(a)]

§ 112-17G(3) WINDOWS

WINDOWS SHALL BE USED TO ADD
TRANSPARENCY, INTEREST, AND RHYTHM TO
THE BUILDING FAÇADE.

- (a) Windows shall be of a scale, proportion and extent appropriate to the overall architectural style of the building.
- (b) Window openings shall be trimmed with an appropriate material (brick, stone, wood, wood-like, cementitious board) to provide added definition to the overall façade.
- (c) The rhythm and ratio of solids to voids for building additions and expansions shall be similar to those of the region's valued historic forms.
- (d) At street corners, public spaces and along pedestrian walks, commercial building storefront windows shall wrap the building corner and provide enhanced transparency and added architectural interest to the 1st floor.

APPROPRIATE



Figure 73

This structure provides a high quality example of building-appropriate window proportions, trim details, building base and solid-to-void ratios [§ 112-17G(3)(a), G(3)(b) & G(3)(c)].

APPROPRIATE



Figure 74

The wrapping of primary storefront windows around the corner of a building (1) enhances the pedestrian experience and adds a higher level of architectural character and detail to the structure [§ 112-17G(3)(d)].

§ 112-117G(4) ROOFS, CORNICES, EAVES, OVERHANGS AND

ROOFS AND CORNICES ARE CRUCIAL
COMPONENTS OF THE BUILDING FAÇADE.

- (a) Elements that define the roof and the upper quartile of the façade shall incorporate design details that provide an added level of detail and articulation to the architectural expression of the building (Figures 75 & 76).
- (b) The choice of design elements and their scale, height, proportion and mass should draw from design cues provided by the historical character of the Village.
- (c) Rooflines shall be in character with the overall architectural style of the building and those vernacular to Western New York State. For example, gable, gambrel, mansard, shed, and hip roofs are common within the region.
- (d) Cornices shall be used to differentiate and enhance the vertical composition of the building façade (Figure 75).
- (e) The use of awnings, canopies, recessed entries and other design elements is encouraged to define the 1st floor and provide shelter to entryways (Figure 77).

APPROPRIATE



Figure 75

The upper quartile of each structure in Figure 72 provides a high level of detail and ornamentation which caps the structure, while the lower quartile of such structure also defines the break between the ground floor and upper stories [§ 112-17G(4)(a) & G(4)(d)].

INAPPROPRIATE



Figure 73

The building in Figure 73 does not provide any meaningful architectural detail at the roofline, nor does the scale and proportion of the existing design elements complement the surroundings [§ 112-17G(4)(a)].

**§ 112-17G(4)
ROOFS, CORNICES,
EAVES, OVERHANGS AND
PARAPETS
CONTINUED**

- (f) Overhangs and canopies should be architecturally consistent with or complementary to the remainder of the building.
- (g) Parapets and false roofs shall be utilized to obscure the view of rooftop mechanical equipment when viewed at ground level from the opposite side of the street or adjacent districts. The use of fencing, lattice and similar materials to screen rooftop mechanical equipment is not permitted.
- (h) To the extent practicable, building stories, cornice lines and other horizontal trimlines for infill development shall have continuity with adjacent buildings (Figure 78).

APPROPRIATE



Awnings are a high quality design element that define the purpose and volume of outdoor spaces. They also add visual variety and distinction to building façade components [§ 112-17G(4)(h)]. The building in Figure 77 also displays a significant amount of transparency and the successful use of a cornice to differentiate the 1st floor from upper stories.

APPROPRIATE



These structures have continuous cornice and trim lines, and provide a high quality rhythm to the streetscape [§ 112-16G(4)(h)].

§ 112-17G(5) BUILDING DOORS AND ENTRIES

ENTRIES SHALL PROVIDE A WELCOMING
EXPERIENCE FOR BUILDING PATRONS.

- (a) All entries shall be designed as an important feature and visual cue of the building façade.
- (b) Doors and entryways shall be of a scale, proportion and coverage appropriate to the overall style of architecture of the building.
- (c) Commercial buildings shall have a transparent primary entry that will be considered as part of the overall transparency requirement for the building frontage (See § 112-17F(3)(c)).
- (d) Primary entries shall be detailed and highlighted through the use of trim, moldings, overhangs and/or other defining architectural features such that its purpose as the primary entrance is evident from the street. Similar treatment is encouraged for all entryways near parking locations.

APPROPRIATE



Figure 79

This entrance possesses a sense of importance and draws visitors from the sidewalk into the structure [§ 112-17G(5)(a)]. The lack of transparency into the structure is balanced by the level of architectural detail and selection of materials.

APPROPRIATE

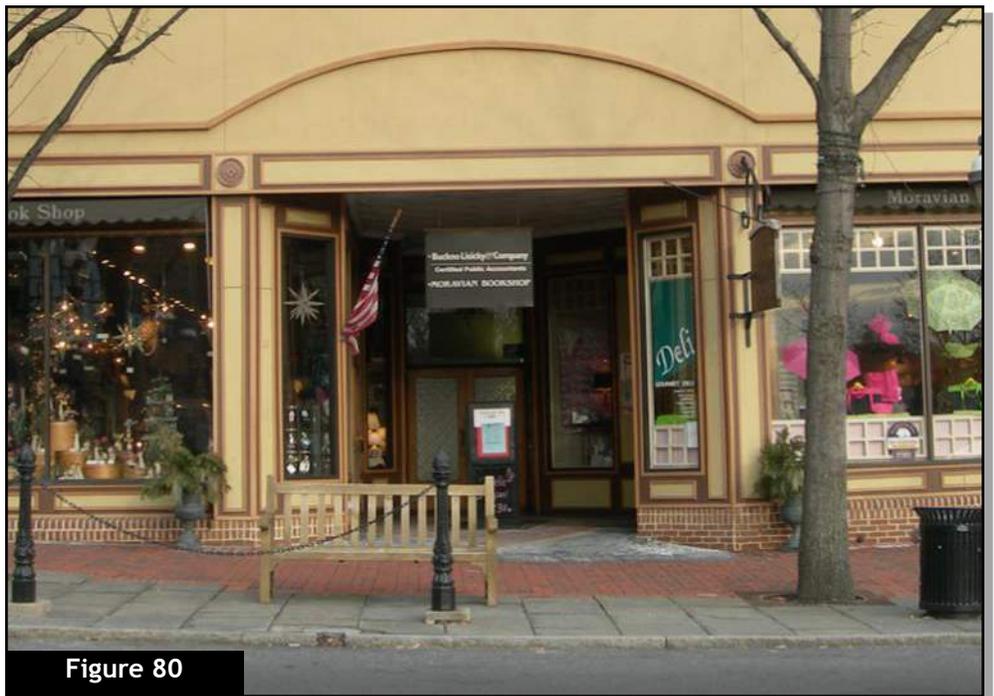


Figure 80

The active and transparent storefronts seen in Figure 80 utilize a recessed entry to provide visual distinction and a visual cue on where to enter the structure [§ 112-17G(5)(d)].

**§ 112-17G(6)
BUILDING MATERIALS**

BUILDING MATERIALS SHALL EVOKE THE CHARACTER, STYLE AND PURPOSE OF THE STRUCTURE.

- (a) Along street frontages, all exterior building walls and structures shall be constructed with durable materials such as masonry, stone, metal, brick, and finishing wood.
- (b) Changes in materials shall occur at inside corners. Material or color changes at the outside corners or within a plane is not permitted.
- (c) Primary façade materials shall be wrapped onto secondary facades for a distance of no less than 10 feet or that which is architecturally consistent with building fenestration.
- (d) Standard masonry block walls are prohibited on any primary façade.
- (e) Decorative masonry materials such as split face and textured finish blocks are discouraged, but may be considered an acceptable façade material at the discretion of the Planning & Architectural Review Board.

- (f) Exterior finishing materials for renovations, additions, and rehabilitations shall be consistent with those being retained on existing and adjacent traditional structures.
- (g) The following materials or systems shall not be utilized on finished building or signage exteriors:
 - Direct-Applied Finish Systems (DAFS);
 - Vertical aluminum or metal siding;
 - Vinyl siding;
 - T111 siding;
 - Glass block;
 - Spandrel glass or glass curtain walls.
- (h) Exterior Insulation Finish

Systems (EIFS) shall not be utilized as a primary building material, but may be utilized, at the discretion of the Planning/Architectural Review Board, as a decorative or complementary material on upper stories only.

INAPPROPRIATE



Figure 81

The use of inappropriate materials and finishes (1) diminishes the visual quality of the structure and adjacent buildings. In this example, although the structure has a high quality storefront, the use of vinyl siding over what was likely masonry construction reduces the overall appeal of the building.

§ 112-17G: ARCHITECTURAL DETAILS

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§ 112-17H

SIGNAGE

§ 112-17H(1) OVERVIEW

SIGNS ARE IMPORTANT COMPONENTS OF THE STREETScape. They do more than communicate information. Through the quality of their design, signs can both contribute to (Figure 82) and diminish (Figure 83) the character or appearance of structures and urban corridors. The purpose of the standards presented in § 112-17H and Chapter 84 are to promote visual cohesiveness within the streetscape through signage that is harmonious with building architecture and the character of the surrounding area. Signs within the Neighborhood Mixed Use Districts should serve as attractive accents that inform visitors of the goods and services available, while promoting a higher standard of visual quality that protects, preserves, and enhances the economic and aesthetic value of the community.

Chapter 84 provides signage standards covering the type, style, height, size and placement of signs within the NMU District. In addition, the images contained within § 112-17H(2) constitute generally acceptable signage variations. These examples are not intended to provide a limited palette of design options, but rather to establish a baseline of acceptability.

APPROPRIATE



Figure 82

Appropriate signage is discrete, yet informative, and highlights the building architecture while complementing its surroundings.

INAPPROPRIATE



Figure 83

The use of tall single-pole signs detracts from the historic character of the Village and is inappropriate for Williamsville's NMU District.

§ 112-17H(2)
SIGNAGE GALLERY



Figure 84

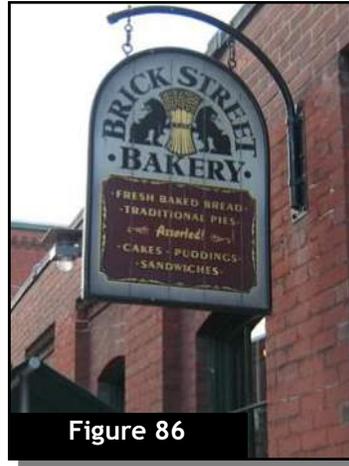


Figure 86



Figure 87



Figure 88



Figure 89

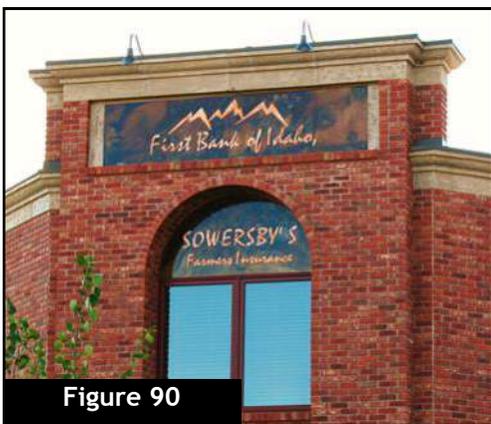


Figure 90



Figure 91



Figure 92

The above gallery of Figures 84 through 92 represents a collection of acceptable signage examples based on style and the quality of design and materials. This gallery does not represent a palette of options or a finite selection of alternatives. The standards and pictorial examples are intended to provide guidance and a range of appropriate alternatives for signage applicants. It is expected that signs shall be designed on an individual basis to complement the building architecture, the surrounding Neighborhood Mixed Use, and the needs of the applicant.

§ 112-17I

LIGHTING

§ 112-17I(1) OVERVIEW

LIGHTING IS A CRITICAL DESIGN ELEMENT that provides safety, visual cues, and aesthetic appeal to the building and its surroundings. Within the MU District, lighting shall be utilized to illuminate building entrances, signage, and parking areas, while also providing for subtle accents of building architecture and site landscaping. The scale and height of lighting fixtures have a significant impact upon their function and effectiveness. Within the Main Street corridor, street lighting should be pedestrian in scale and height, and appropriately spaced to provide sufficient illumination for the street and sidewalk (Figures 93 & 94). New development should follow this standard by keeping fixtures and poles in scale and character with the site and adjacent uses, while also providing the illumination to only those areas intended. The prevention of light pollution spilling beyond property boundaries is of paramount concern to mixed-use districts that support both commercial and residential uses.

§ 112-16I includes the following standards:

- site lighting;
- building lighting;
- accent lighting; and
- a gallery of fixtures.

APPROPRIATE



Figure 93

The use of period lighting fixtures with enhancements such as banners and flower hangers is appropriate for the Neighborhood Mixed Use district.

INAPPROPRIATE

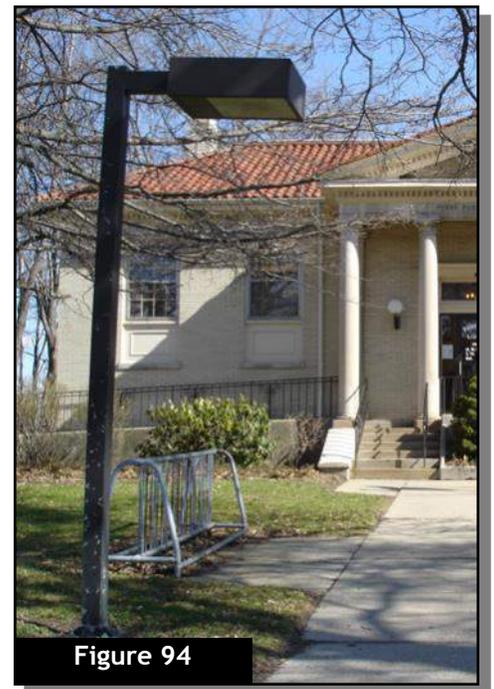


Figure 94

The above light fixture is inappropriate in scale and height for this pedestrian application.

§ 112-17I: LIGHTING

**§ 112-17I(2)
SITE LIGHTING**

SITE LIGHTING SHALL IMPROVE THE SAFETY AND VISIBILITY OF PARKING LOTS AND PEDESTRIAN ZONES.

- (a) Lighting shall be designed such that poles, fixtures, ornamentation and materials are of a pedestrian scale and height, and provide for a safe pedestrian experience.
- (b) Fixture heights shall be between 8 and 20 feet in height, with shorter poles along sidewalks and pedestrian zones, and taller poles within parking areas.
- (c) Fixtures shall be "Dark Sky" compliant. Light trespass into adjacent non-commercial areas shall not exceed 0.1 foot candles in intensity.
- (d) Amber hue lighting, such as high pressure sodium fixtures and others of equivalent performance, is not permitted.
- (e) Lighting fixtures shall be directed away from adjacent structures and property boundaries.
- (f) Fixture mounting height, direction and intensity shall be determined based on the minimum requirements necessary to efficiently and safely illuminate the area.

**§ 112-17I(3)
BUILDING LIGHTING**

ENHANCED BUILDING LIGHTING SHALL BE PLACED AT BUILDING ENTRANCES AND OTHER PEDESTRIAN AREAS.

- (a) Building-mounted lighting shall be of a style complementary to the architectural character of the building and surroundings.
- (b) Building-mounted lighting shall not be utilized as area lighting in place of pole-mounted lighting along private rights-of-way, sidewalk and pedestrian zones, and parking areas.
- (c) Building-mounted lighting shall be utilized primarily for safety and security lighting at entryways, utility and loading areas, and other areas approved by the Planning Board.
- (d) Standards I(1)(c), (d) and (e) shall also apply for building-mounted lighting.
- (e) Building-mounted lighting shall not be mounted higher than 15 feet above grade.
- (f) Wall-pack style lighting fixtures shall not be placed upon primary facades.

**§ 112-17I(4)
ACCENT LIGHTING**

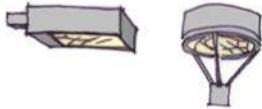
ACCENT LIGHTING SHOULD BE USED TO COMPLEMENT AND HIGHLIGHT UNIQUE ARCHITECTURAL FEATURES.

- (a) Standards I(2)(d) and (e) shall also apply for accent lighting, including both ground- and building-mounted fixtures.
- (b) The use of neon accent lighting is not permitted.
- (c) Building accent lighting shall be discrete in nature and of the same color and a lesser intensity than other building mounted lighting.
- (d) Accent lighting shall focus on highlighting architectural details or elements rather than the illumination of entire facades or walls.

§ 112-17I(5) LIGHTING GALLERY

APPROPRIATE

Full cutoff fixtures



Fully shielded wallpacks and wall-mounted fixtures



Fully shielded 'Period' style or contemporary fixtures



Full cutoff streetlights



Shielded/properly-aimed PAR floodlights



Lit bollards



Goose-necks, soffit, and lantern-style



INAPPROPRIATE

Drop lens and sag lens fixtures with exposed bulb



Unshielded wallpacks and wall-mounted fixtures



Unshielded 'Period' style or contemporary fixtures



Unshielded streetlights



Unshielded or poorly shielded floodlights



Single tube fluorescent fixtures



§ 112-17J
SEASONAL OUTDOOR SEATING

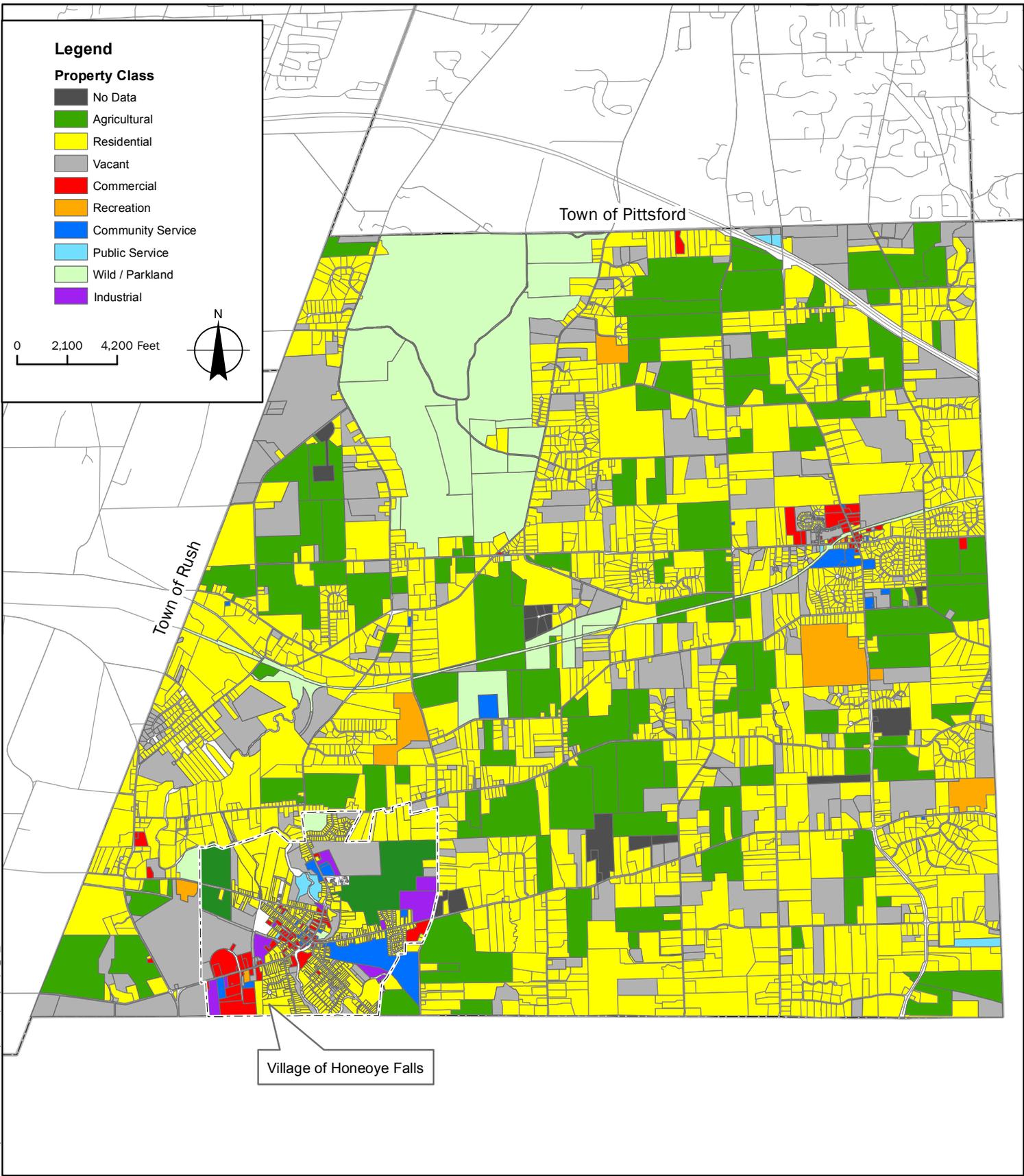
§ 112-17J(1)

- (a) Seasonal outdoor seating shall be permitted in an NMU District subject to the standards contained in § 112-16J.

Appendix D

Additional Mapping

Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig1_8_5X11LandUse.mxd



Sources:
 1. Property Classification: 2019 Tax Parcels, Monroe County
 2. Municipal Boundary: Monroe County



COMPREHENSIVE PLAN
 TOWN OF MENDON

LaBella Project No: 2182388
 Date: JULY 2019

LAND USE
 FIGURE 1

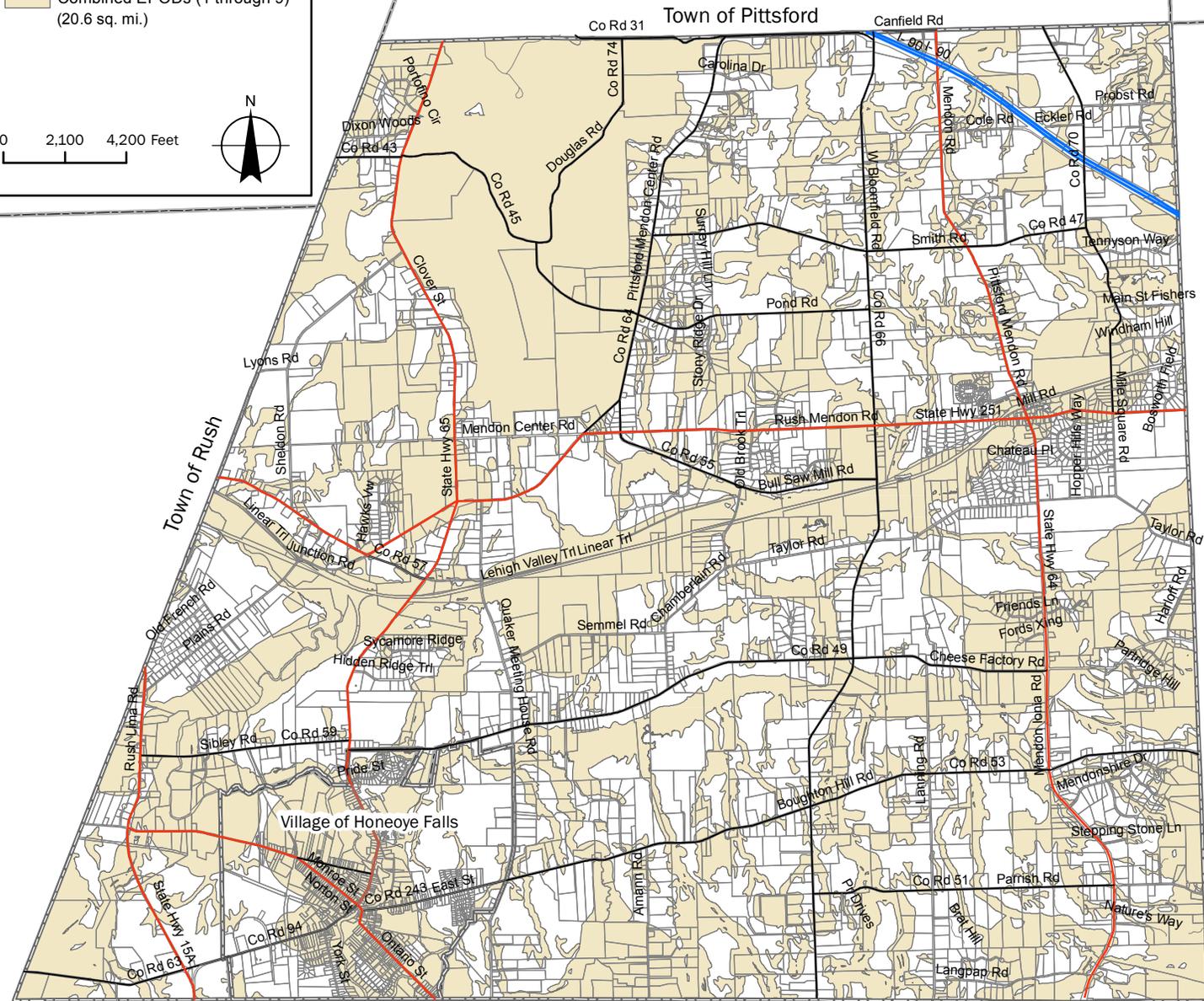
Legend

- Interstate
- State Road
- County Road
- Local Road
- Municipal Boundary (40.1 sq. mi.)
- Tax Parcels
- Combined EPODs (1 through 9)
(20.6 sq. mi.)

0 2,100 4,200 Feet

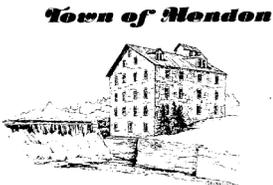


Town of Pittsford



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update_Maps\Fig2_8.5X11EPODoverlay.mxd

- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. EPODs, Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: JUNE 2020

**EPODs
OVERLAY
FIGURE 2**

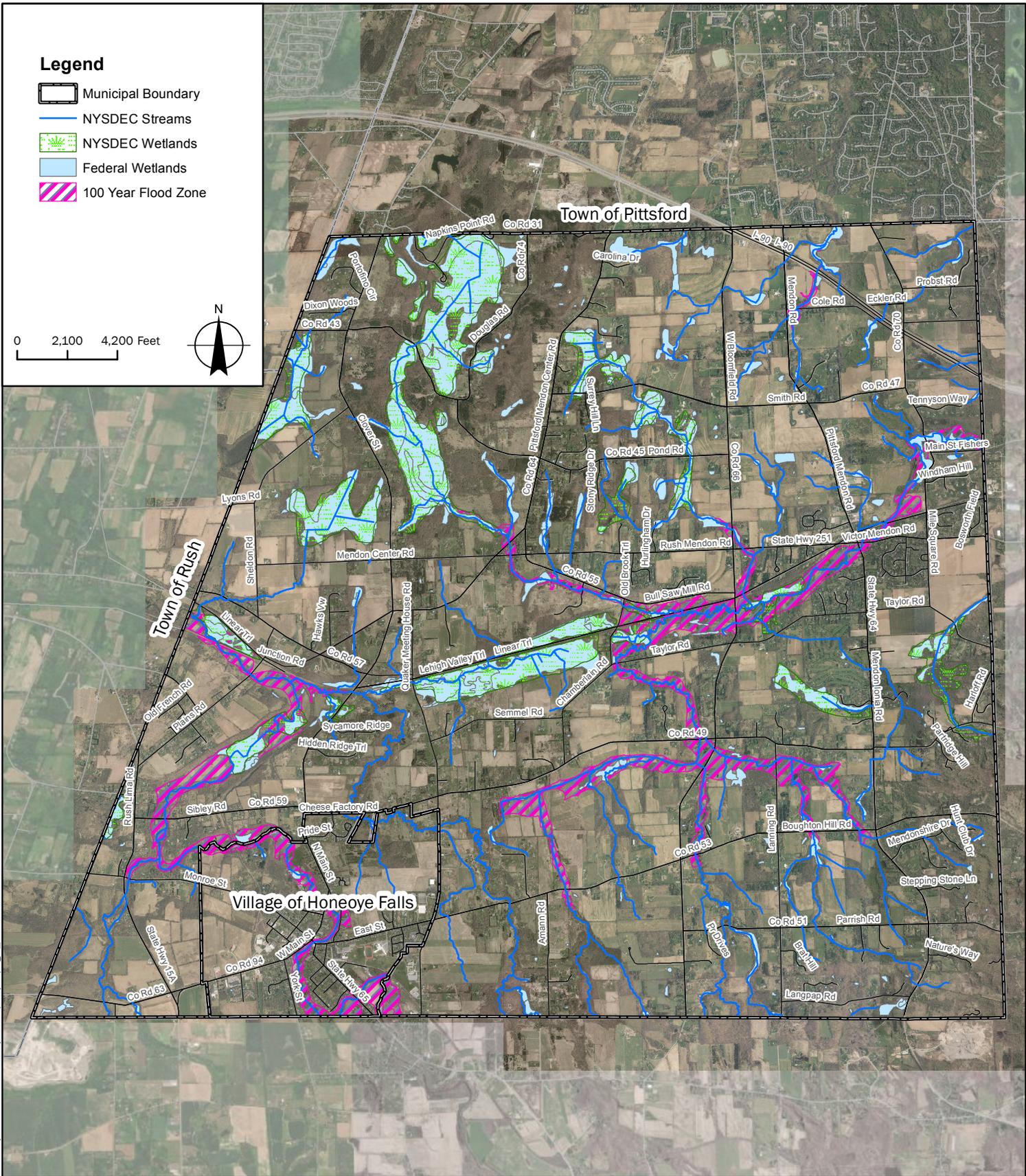
Legend

-  Municipal Boundary
-  NYSDEC Streams
-  NYSDEC Wetlands
-  Federal Wetlands
-  100 Year Flood Zone

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig4_8_5X11StreamsWetlands.mxd



- Sources:
1. Roads, Monroe County
 2. Streams and Wetlands, NYS DEC
 3. Federal Wetlands, National Wetland Inventory
 4. Floodplain, CUGIR
 5. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: APRIL 2019

**STREAMS
WETLANDS
FLOODPLAINS
FIGURE 3**

Legend

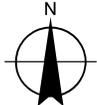
☐ Tax Parcels

Soils

Importance

- Prime (14,442 Acres)
- Prime if Drained (2,484 Acres)
- Statewide Importance (2,301 Acres)
- Other Soils (6,341 Acres)

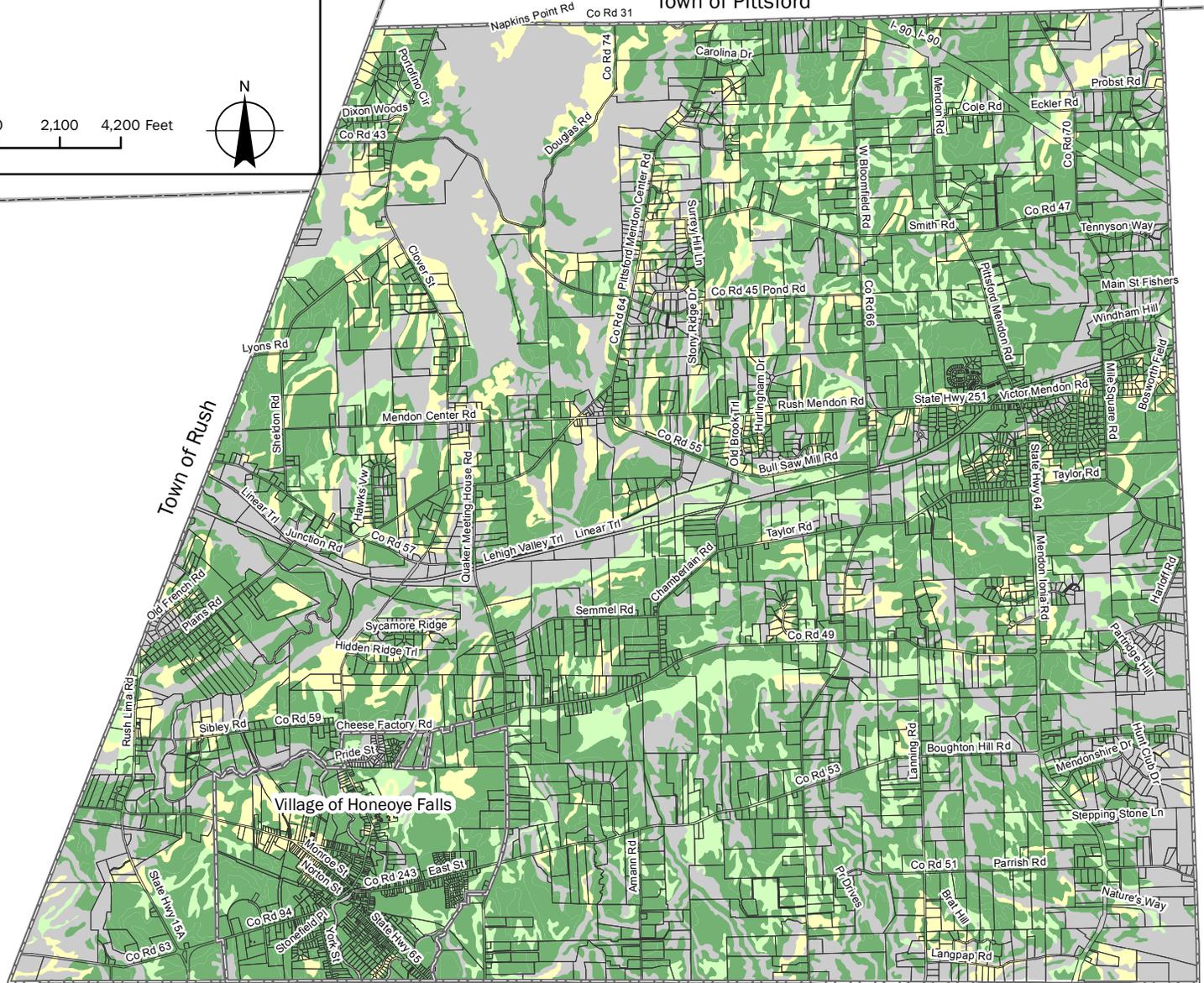
0 2,100 4,200 Feet



Town of Pittsford

Town of Rush

Village of Honeoye Falls



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig8_8_5X11PrimeSoils.mxd

- Sources:
1. Roads, Monro County
 2. Municipal Boundary, Monro County
 3. Tax Parcels, Monro County
 4. Soils, NRCS



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: JUNE 2019

**PRIME SOILS
FIGURE 4**

Legend

-  Tax Parcels
-  Agricultural District (15,584 Acres)

0 2,100 4,200 Feet



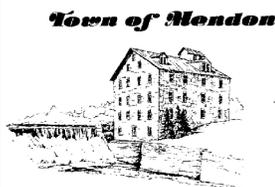
Town of Pittsford

Town of Rush

Village of Honeoye Falls

Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig9_8_5X11AgDist.mxd

- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. Ag Districts, CUGIR



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: JUNE 2019

**AGRICULTURAL
DISTRICT**

FIGURE 5

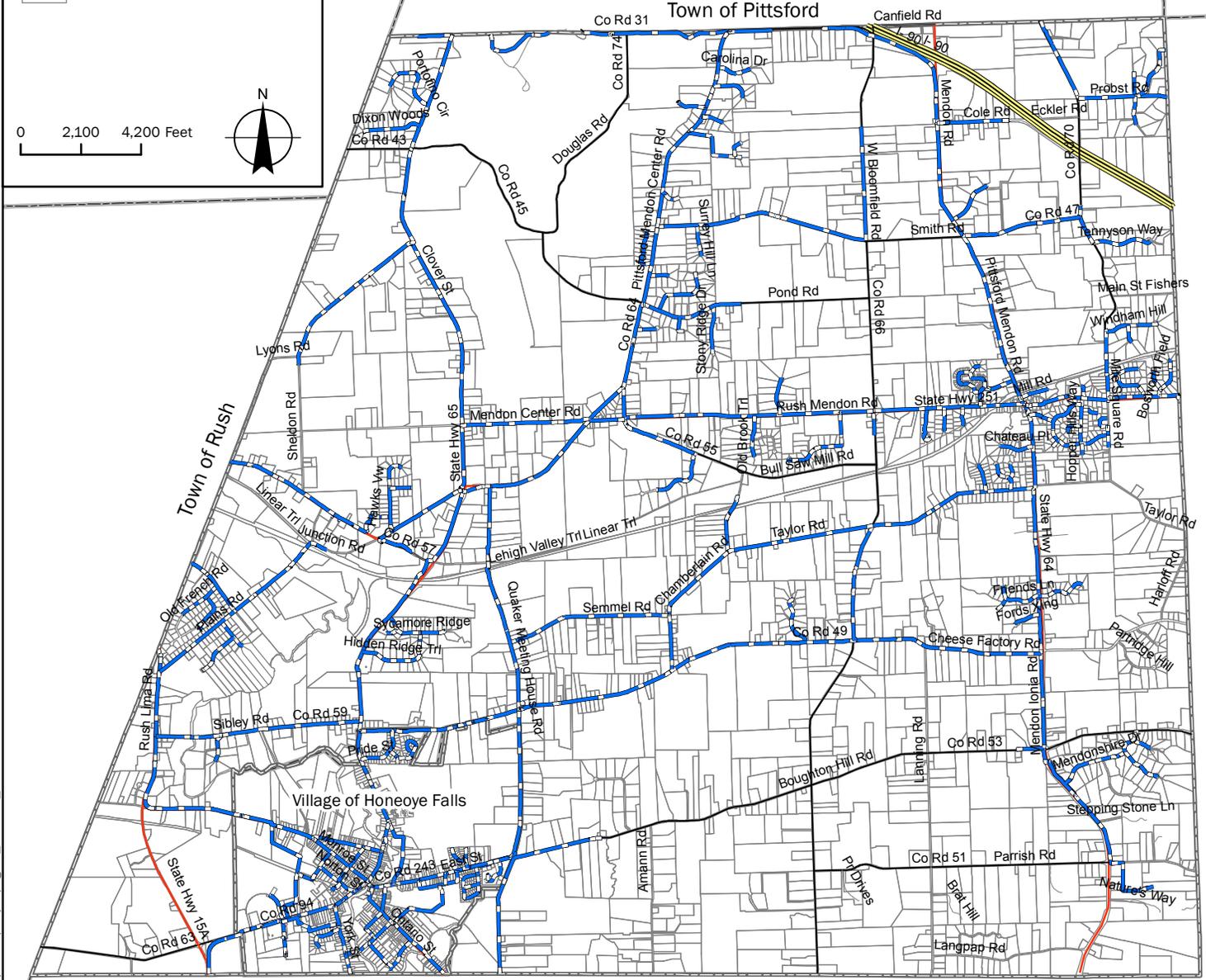
Legend

-  Existing Watermain
-  Interstate
-  State Road
-  County Road
-  Local Road
-  Municipal Boundary (40.1 sq. mi.)
-  Tax Parcels

0 2,100 4,200 Feet



Town of Pittsford



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig18_8.5X11_WaterInfrastructure.mxd

- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. Water Mains, LaBella

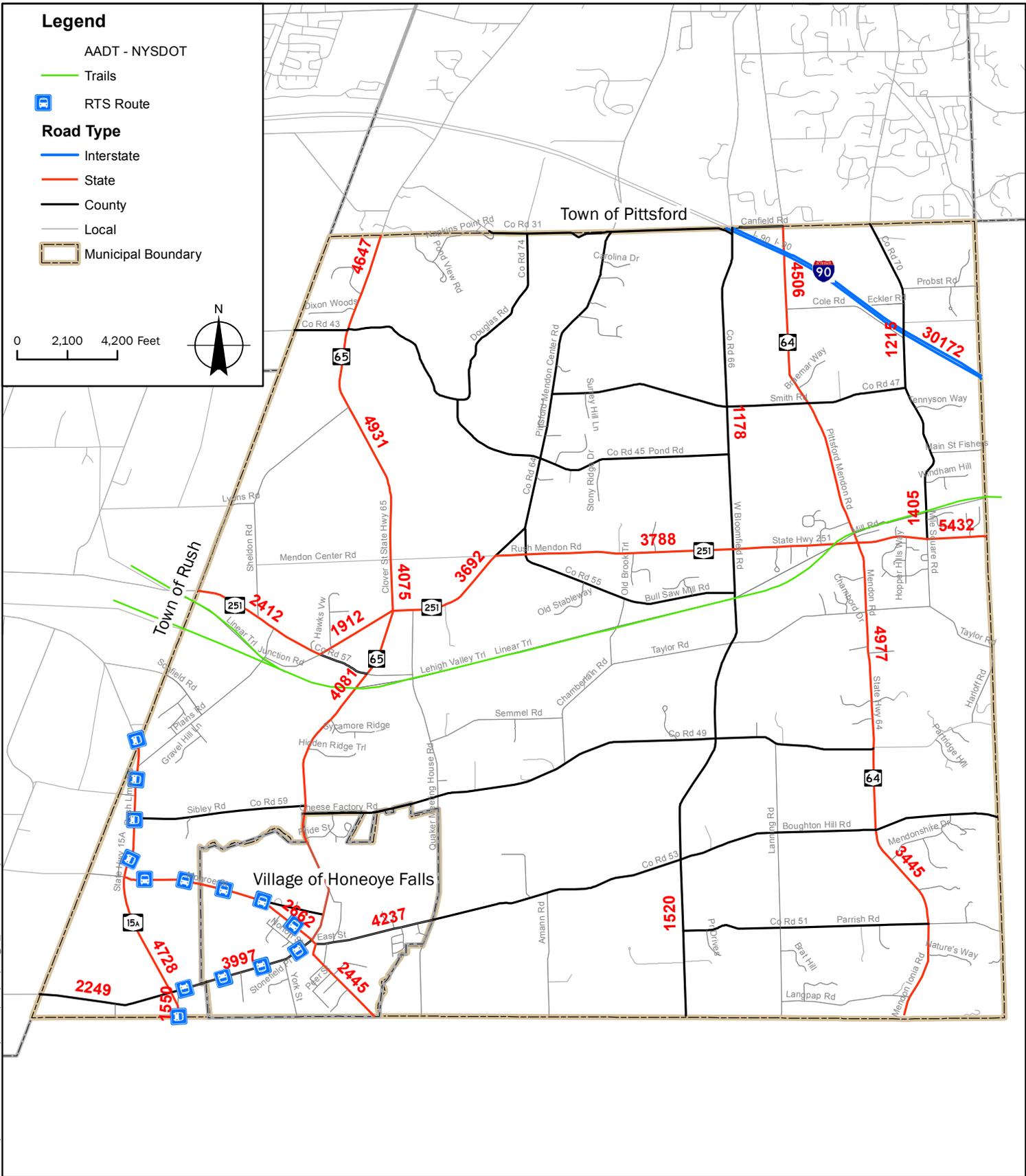


**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: SEPTEMBER 2019

**WATER
INFRASTRUCTURE**

FIGURE 6



- Sources:
1. Roads, Monroe County
 2. Traffic County (AADT), NYSDOT
 3. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: MAY 2020

**TRANSPORTATION
FIGURE 7**

Legend

- Trails
- Agricultural / Rural Residential
- Suburban Residential
- Village Residential
- Industrial / Business; Industrial /Business
- Hamlet Core Area
- Hamlet Transition Area
- Govt, Community Facilities
- Village - Honeoye Falls
- Parks

- No major changes from previous plan (2005)
- Mostly agricultural / rural residential & parks = rural character
- Hamlet and hamlet transition area
- Minor development outside Village

0 2,100 4,200 Feet

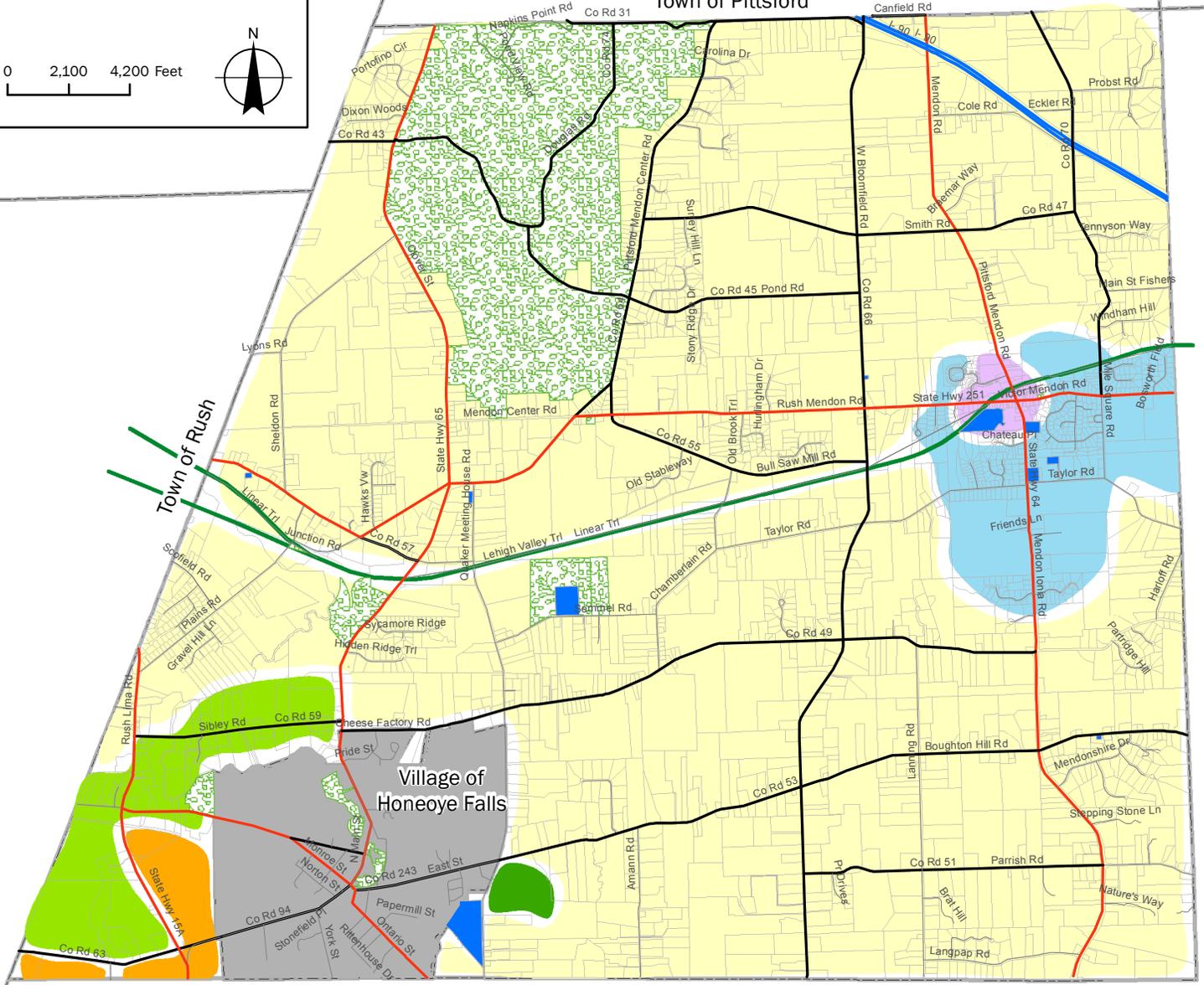


Town of Pittsford

Town of Rush

Village of Honeoye Falls

Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig_FUTURELANDUSE.mxd



Sources:
1. 2019 Tax Parcels, Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

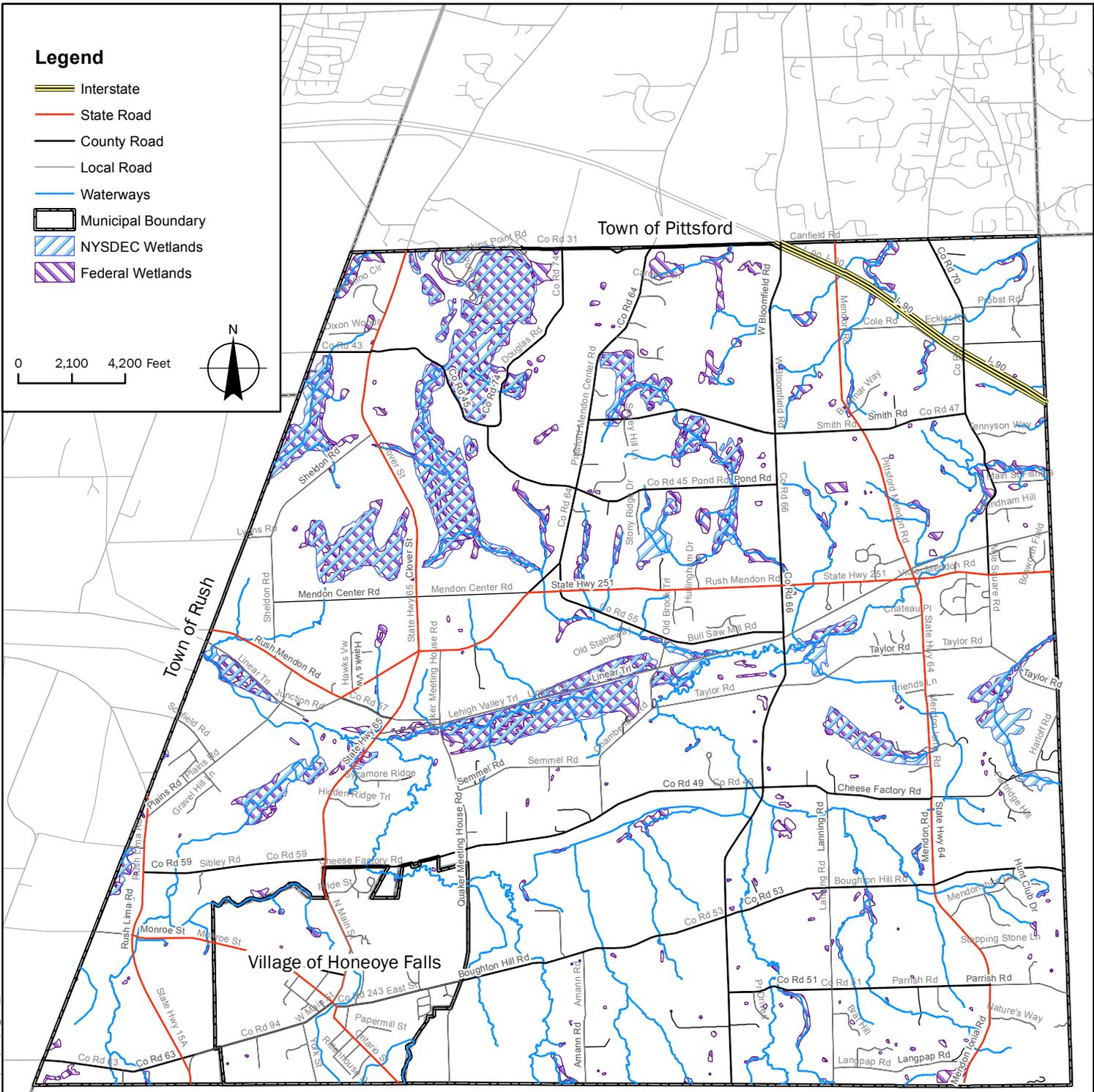
LaBella Project No: 2182388
Date: JUNE 2020

**FUTURE
LAND USE
FIGURE 8**

Legend

-  Interstate
-  State Road
-  County Road
-  Local Road
-  Waterways
-  Municipal Boundary
-  NYSDEC Wetlands
-  Federal Wetlands

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig15_Wetlands.mxd

- Sources:
1. Roads, Monroe County
 2. Wetlands, NYS DEC
 3. Federal Wetlands, National Wetland Inventory
 4. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

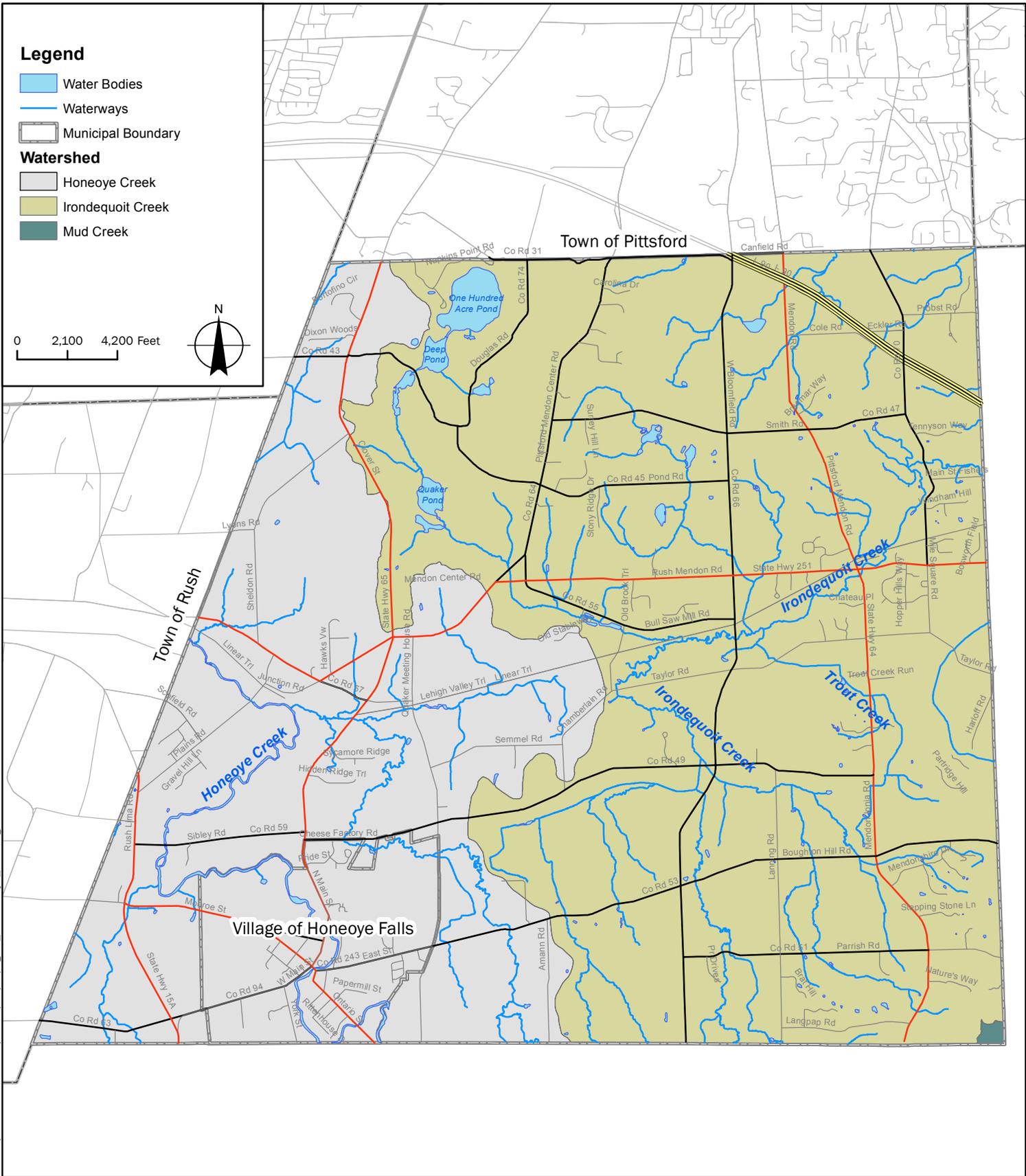
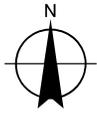
LaBella Project No: 2182388
Date: AUGUST 2019

WETLANDS

Legend

- Water Bodies
- Waterways
- Municipal Boundary
- Watershed**
- Honeoye Creek
- Irondequoit Creek
- Mud Creek

0 2,100 4,200 Feet

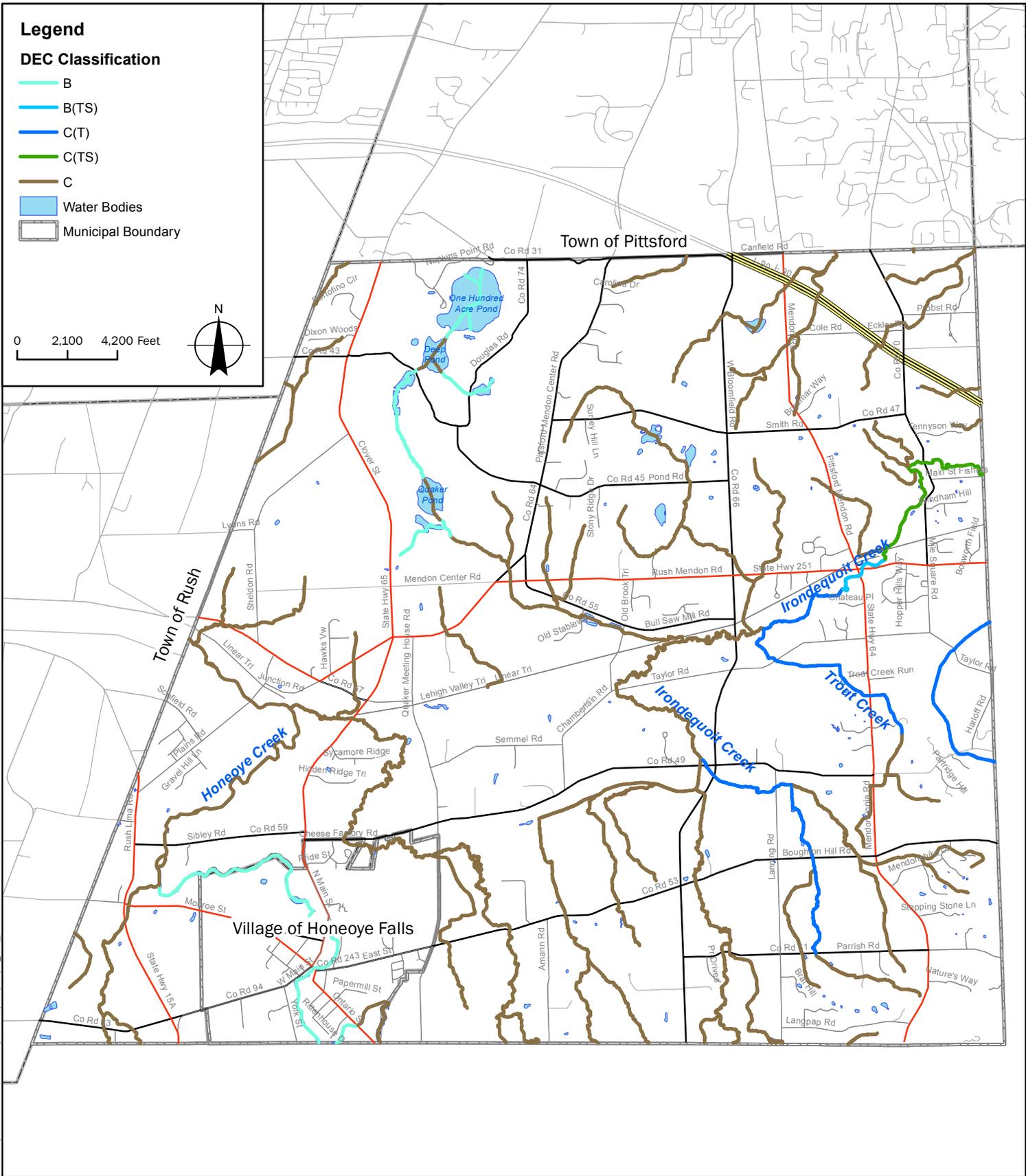
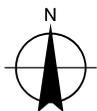


Legend

DEC Classification

- B
- B(TS)
- C(T)
- C(TS)
- C
- Water Bodies
- Municipal Boundary

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig14_StreamClassification.mxd

- Sources:
1. Roads, Monro County
 2. Streams, NYS DEC
 3. Municipal Boundary: Monro County

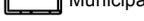
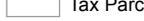


**COMPREHENSIVE PLAN
TOWN OF MENDON**

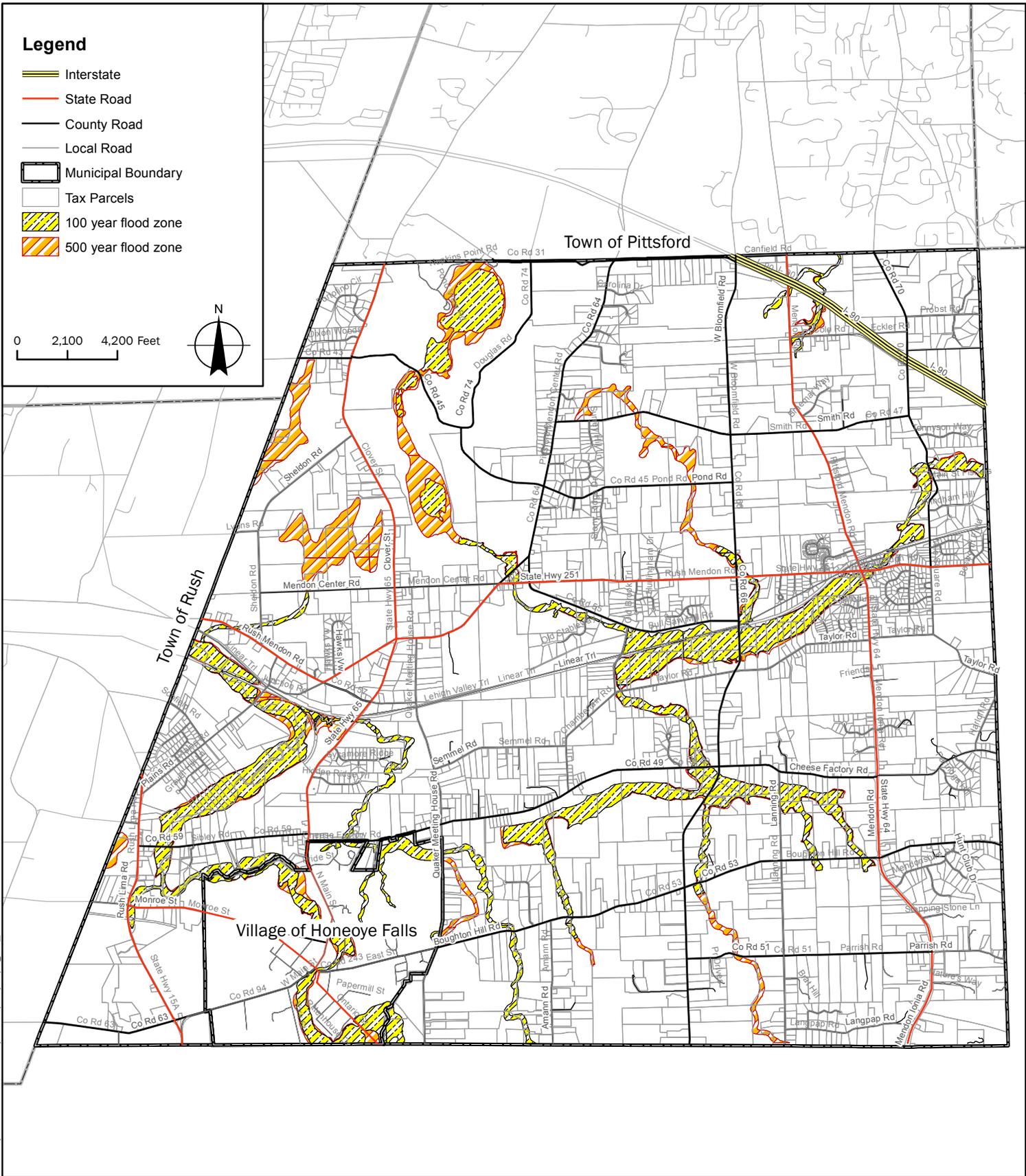
LaBella Project No: 2182388
Date: AUGUST 2019

**STREAM
CLASSIFICATION**

Legend

-  Interstate
-  State Road
-  County Road
-  Local Road
-  Municipal Boundary
-  Tax Parcels
-  100 year flood zone
-  500 year flood zone

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig16_FloodHazard.mxd

- Sources:
1. Roads, Monroe County
 2. Floodplain, CUGIR
 3. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

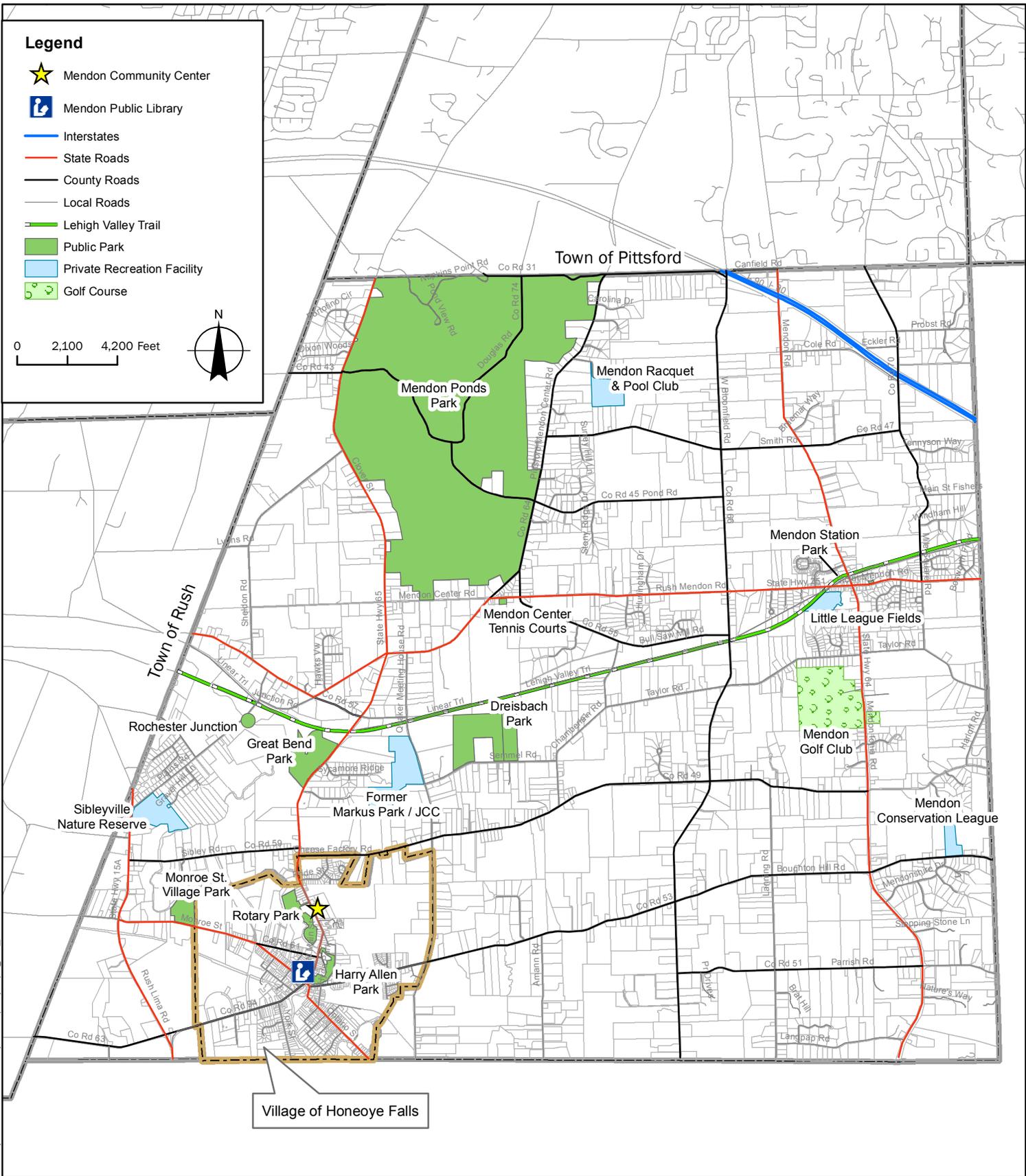
LaBella Project No: 2182388
Date: AUGUST 2019

**FLOOD HAZARD
AREAS**

Legend

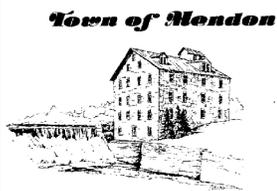
-  Mendon Community Center
-  Mendon Public Library
-  Interstates
-  State Roads
-  County Roads
-  Local Roads
-  Lehigh Valley Trail
-  Public Park
-  Private Recreation Facility
-  Golf Course

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig12_8_5X11\Parks.mxd

Sources:
 1. 2019 Tax Parcels, Monroe County
 2. Municipal Boundary: Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

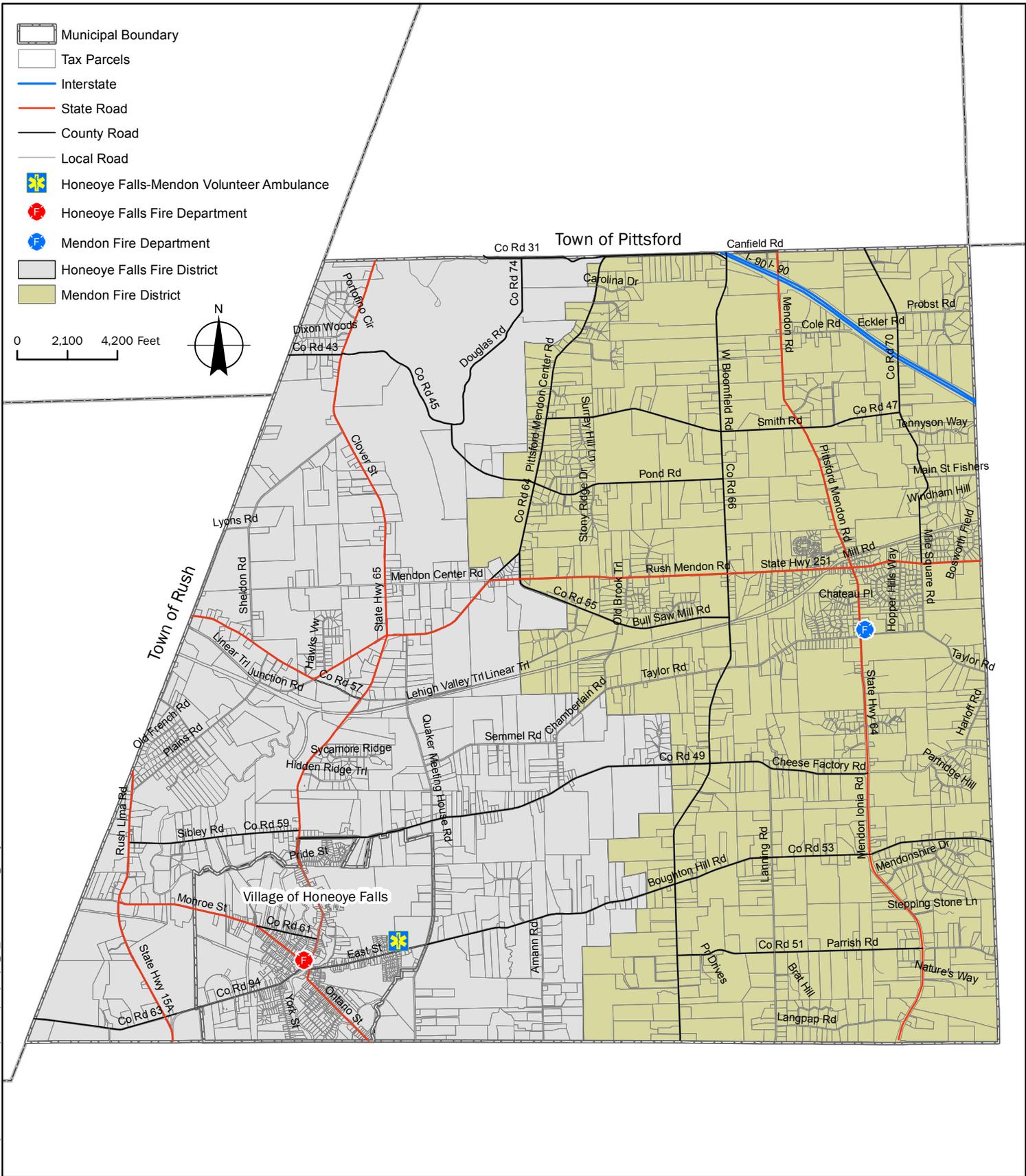
LaBella Project No: 2182388
 Date: AUGUST 2019

**PARKS &
RECREATION**

-  Municipal Boundary
-  Tax Parcels
-  Interstate
-  State Road
-  County Road
-  Local Road

-  Honeoye Falls-Mendon Volunteer Ambulance
-  Honeoye Falls Fire Department
-  Mendon Fire Department
-  Honeoye Falls Fire District
-  Mendon Fire District

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig6_8_5X11EmergencyServices.mxd

- Sources:
1. Roads, Monroe County
 2. Municipal Boundary, Monroe County
 3. Tax Parcels, Monroe County
 4. Emergency Services, Town of Mendon



COMPREHENSIVE PLAN TOWN OF MENDON

LaBella Project No: 2182388
Date: MAY 2019

EMERGENCY SERVICES

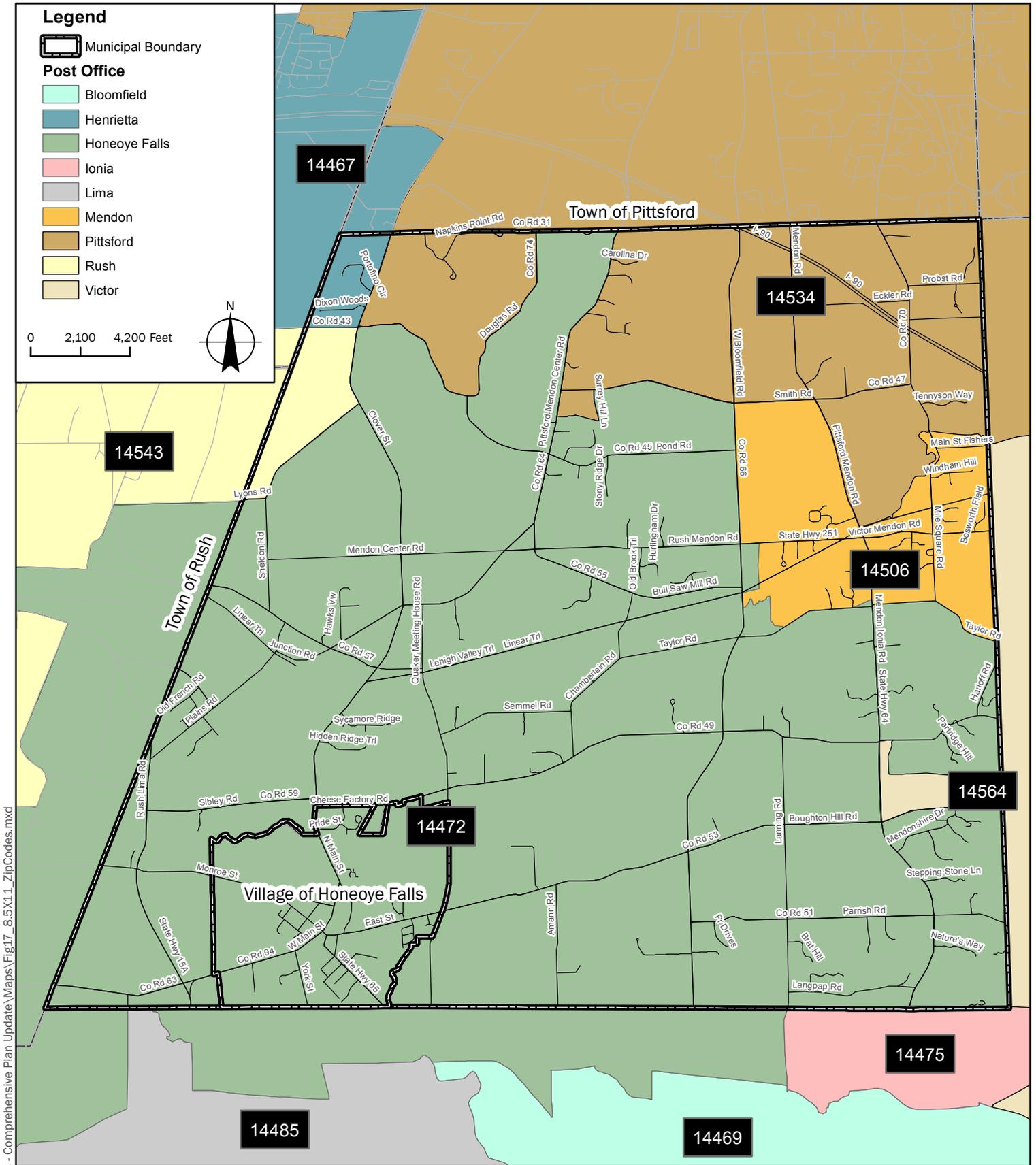
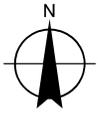
Legend

 Municipal Boundary

Post Office

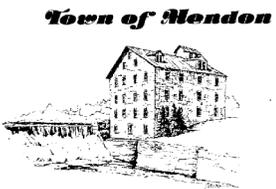
-  Bloomfield
-  Henrietta
-  Honeoye Falls
-  Ionia
-  Lima
-  Mendon
-  Pittsford
-  Rush
-  Victor

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig17_8.5X11_ZipCodes.mxd

- Sources:
1. Roads, Monroe County
 2. Zip Codes, ESRI 2018
 5. Municipal Boundary, Monroe County



**COMPREHENSIVE PLAN
TOWN OF MENDON**

LaBella Project No: 2182388
Date: SEPTEMBER 2019

ZIP CODES

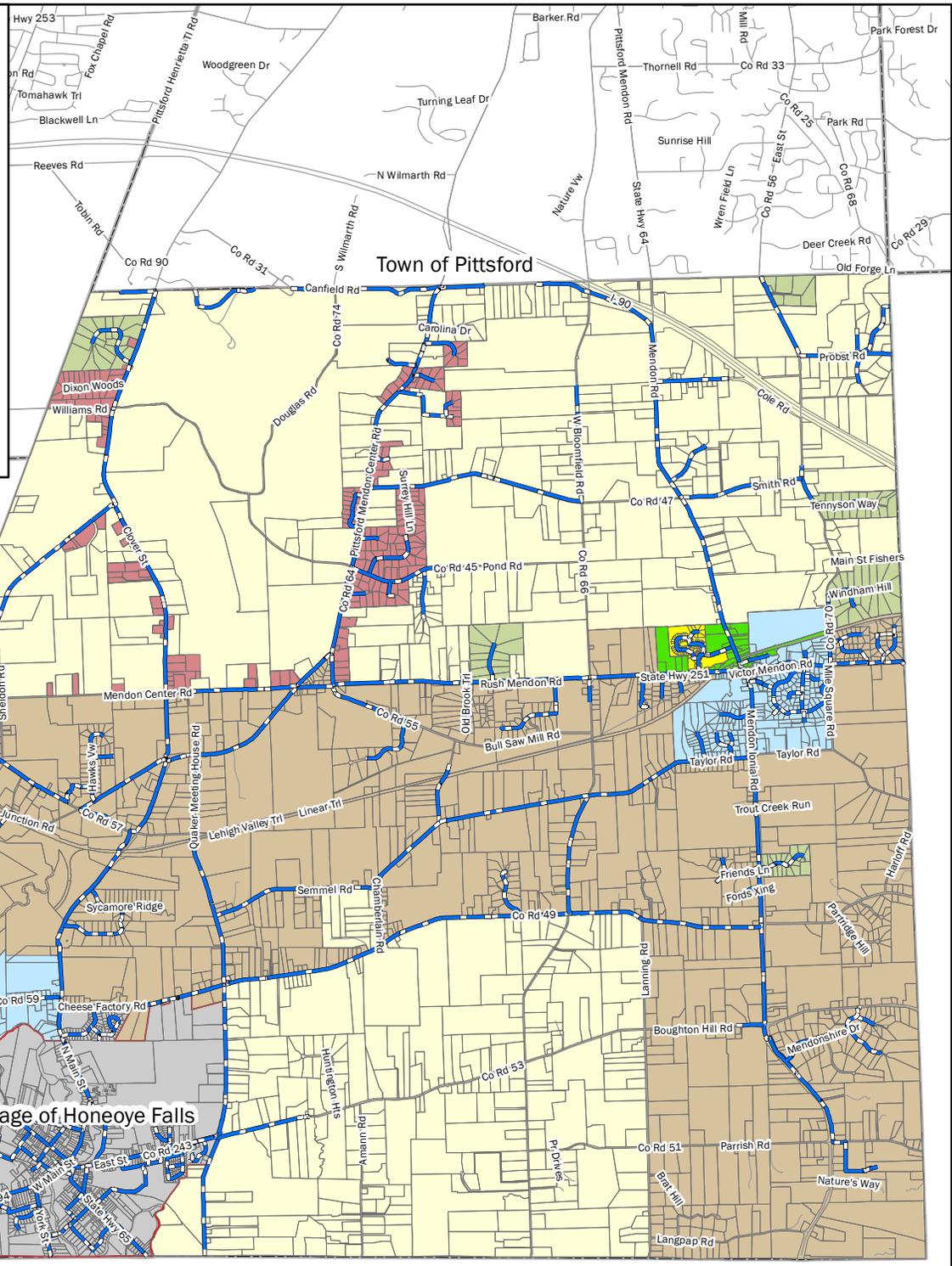
Legend

EXISTING WATERMAIN

Zoning District

- 278 CLUSTERED
- COMMUNITY BUSINESS
- INDUSTRIAL
- PLANNED UNIT DEVELOPMENT
- RURAL SUBURBAN
- RESIDENTIAL AGRICULTURAL RA-1
- RESIDENTIAL AGRICULTURAL RA-2
- RESIDENTIAL AGRICULTURAL RA-5
- VILLAGE OF HONEOYE FALLS

0 2,100 4,200 Feet



Path: I:\Mendon, Town of\2182388 - Comprehensive Plan Update\Maps\Fig2_8_5X11Zoning.mxd

Sources:
 1. 2019 Tax Parcels, Monroe County
 2. Zoning Districts, Monroe County



**COMPREHENSIVE PLAN
 TOWN OF MENDON**

LaBella Project No: 2182388
 Date: JUNE 2019

ZONING